



Texas Department of Housing and Community Affairs

Governing Board

Board Action Request

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**File #:** 1386

**Agenda Date:** 4/9/2026

**Agenda #:**

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Presentation, discussion, and possible action regarding a Material Amendment to the Housing Tax Credit Application for Heights at Crowley (HTC #23129)

**RECOMMENDED ACTION**

**WHEREAS**, Heights at Crowley (the Development) received an award of 9% Housing Tax Credits (HTCs) in 2023 and was approved for a reallocation of tax credits under force majeure in 2025 for the construction of 96 units of multifamily housing, of which 80 units are designated as low-income, for the general population in Fort Worth, Tarrant County;

**WHEREAS**, TX Crowley 2023, Ltd. (the Development Owner or Owner) requests approval for a redesign of the Development that resulted in a change to the bedroom mix by replacing six three-bedroom units with six two-bedroom units and also resulted in a reduction to the number of residential buildings from three buildings to two buildings;

**WHEREAS**, Board approval is required for a significant modification of the site plan, a modification of the number of units or bedroom mix of units, and a significant modification of the architectural design of the Development as directed in Tex. Gov't Code §2306.6712(d)(1), (2), (5) and 10 TAC §10.405(a)(4)(A), (B), and (E), and the Owner has complied with the amendment requirements therein; and

**WHEREAS**, the requested changes do not negatively affect the Development, impact the viability of the transaction, impact the scoring of the Application, or affect the amount of the tax credits awarded;

**NOW, therefore, it is hereby**

**RESOLVED**, that the requested amendment for Heights at Crowley is approved as presented at this meeting, and the Executive Director and his designees are each hereby authorized, directed, and empowered to take all necessary action to effectuate the foregoing.

**BACKGROUND**

Heights at Crowley received an award of 9% Housing Tax Credits in 2023 and was approved for a reallocation of tax credits under force majeure in 2025 for the construction of 96 multifamily units, of which 80 units are designated as low-income, for the general population in Fort Worth, Tarrant County. Construction of the Development is nearing completion.

In a letter dated February 20, 2026, Adrian Iglesias, the representative for the Owner, requested approval for a change to the bedroom mix and a reduction in the number of residential buildings. Additionally, the Net Rentable Area has been reduced slightly, and the Common Areas has been increased. The Owner states that during the permitting process additional unforeseen site constraints were created by three main factors. A drainage study was conducted by Kimley-Horn and Associates, and this revealed that the City of Fort Worth floodplain extended into the property on the west side further than initially anticipated. Second, a wetlands study was conducted by Kimley-Horn and Associates, which revealed existing wetlands extended into the property on the west side further than anticipated, and third, zoning review introduced a minimum preservation of tree canopy coverage requirement, which the initial design could no longer comply with due to the expanded floodplain and wetlands areas. Due to these new site constraints, the design was modified by combining the originally proposed three residential buildings into two residential buildings in order to ensure adequate and safe distance was maintained from the new floodplain and wetlands areas and to ensure that the preservation of existing trees on-site could be maintained and comply with the City of Fort Worth zoning requirements. As part of the change to combine the residential buildings, two stacks of three-bedroom units had to be converted to two stacks of two-bedroom units, resulting in a one for one replacement of six total units from three-bedroom to two-bedroom units. These modifications to the site plan, bedroom mix, and architectural design are material amendments under Tex. Gov't Code §2306.6712(d)(1), (2), (5) and 10 TAC §10.405(a)(4)(A), (B), and (E).

The revised plans result in a 912 square foot (0.9%) reduction in the Net Rentable Area, from 102,024 to 101,112 square feet, and also results in a 8,048 square foot increase in the Common Area, from 16,372 to 24,420 square feet.

These changes do not materially alter the Development in a negative manner and were not reasonably foreseeable or preventable by the Development Owner at the time of Application. Staff has determined that these changes do not affect the scoring of the Application or the funding award, and the Development will continue to meet the accessibility requirements. The final recommended HTC amount will be determined upon finalization of the cost certification process.

Staff recommends approval of the amendment request as presented herein.



February 20<sup>th</sup>, 2026

Lucy Weber  
Asset Manager  
Texas Department of Housing and Community Affairs  
221 E. 11<sup>th</sup> Street  
Austin, TX 78701  
Email: [lucy.weber@tdhca.state.tx.us](mailto:lucy.weber@tdhca.state.tx.us)

Re: The Heights at Crowley, TDHCA # 23129 – Request for Material Amendment

Dear Ms. Lucy Weber,

Please accept this request for a Material Amendment to the bedroom unit mix and site plan for The Heights at Crowley (TDHCA #23129). We are requesting the bedroom unit mix and architectural site plan be amended as follows:

Bedroom Unit Mix:

- Replace six (6) 3B/2B units with six (6) 2B/2B units

Site Plan:

- Reduce the number of residential buildings from three (3) to two (2).

Notes:

- *The total unit count did not change from 96 units.*
- *The Net Rentable Square Footage was modified by less than 1.0% (from 102,024 Sq. Ft. to 101,112 Sq. Ft), which would not otherwise be considered a material amendment.*
- *The total common area increased from 16,372 Sq. Ft to 24,420 Sq. Ft. This was due mostly to the increase in the size of the clubhouse.*

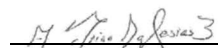
**Reason Change was Necessary:** During the permitting process, additional unforeseen site constraints were created by three main factors: (1) A drainage study was conducted by Kimley-Horn and Associates revealed City of Fort Worth Floodplain which extended into the property on the west side further than initial anticipated; (2) A wetlands study was conducted by Kimley-Horn and Associates which revealed existing wetlands extended into the property on the west side further than anticipated; and (3) Zoning review introduced a minimum preservation of tree canopy coverage requirement, which the initial design could no longer comply with due to the expanded floodplain and wetlands areas. Due to these three new site constraints, the design was modified by combining three (3) residential buildings into two (2) residential in order to ensure adequate/safe distance was maintained from the new floodplain and wetlands areas, and to ensure that the preservation of existing trees on-site could be maintained and comply with City of Fort Worth zoning requirements. As part of the change to combine the residential buildings, the modified buildings two stacks of 3-bedrooms units (six total) had to be converted to two stacks of 2-bedroom units, resulting in a 1 for 1 replacement of six (6) total units from 3-bedroom to 2-bedrooms units.

Due to the **unforeseeable** nature of the circumstances that were determined during the permitting process through (1) required drainage studies, (2) required wetland mitigation studies, and (3) City of Fort Worth tree preservation requirements, we kindly request that the modifications to the unit mix to replace six (6) 3-bedroom units with six (6) 2-bedroom be accepted.

We appreciate your help in processing the request.

Please contact me at (214)613-6569 or [aiglesias@ghdevelopment.com](mailto:aiglesias@ghdevelopment.com) with any questions.

Sincerely,  
TX Crowley 2023, Ltd.

  
Adrian Iglesias, Authorized Representative

**The Heights at Crowley - Modified Bed/Bathroom Mix**

**Amended: Bedroom/Bathroom Mix**

Unit Type	# Units	Per Unit	Per Unit	Total	Total
		Bedrooms	Bathrooms	Bedrooms	Bathrooms
A1 / A2	12	1	1	12	12
B1 / B2	54	2	2	108	108
C1	30	3	2	90	60
	<b>96</b>			<b>210</b>	<b>180</b>

**Original Approved at Underwriting: Bedroom/Bathroom Mix**

Unit Type	# Units	Per Unit	Per Unit	Total	Total
		Bedrooms	Bathrooms	Bedrooms	Bathrooms
A1 / A2	12	1	1	12	12
B1 / B2	48	2	2	96	96
C1	36	3	2	108	72
	<b>96</b>			<b>216</b>	<b>180</b>

**REVISED APPLICATION EXHIBITS:  
PREVIOUS ARCHITECTURAL PLANS  
(FOR REFERENCE)**



HEIGHTS AT CROWLEY ROAD

February 17, 2023

Independent Living Units:

UNIT TYPE	Building Quantity			BUILDING #1			BUILDING #2			BUILDING #3			TOTAL UNITS	PATIO SF	STORAGE SF	NET RENTABLE	NET RENTABLE W/PATIO
	NET RENT	BALCONY	STORAGE	1ST FLOOR	2ND FLOOR	3RD FLOOR	1ST FLOOR	2ND FLOOR	3RD FLOOR	1ST FLOOR	2ND FLOOR	3RD FLOOR					
A-1 (Tax)	716	55	15	0	2	2	0	0	0	0	0	0	4	220	60	2,864	3,144
A-1hc	716	55	15	1	0	0	0	0	0	0	0	0	1	55	15	716	786
A-1hv	716	55	15	1	0	0	0	0	0	0	0	0	1	55	15	716	786
A-2 (Tax)	778	55	18	2	2	2	0	0	0	0	0	0	6	330	108	4,668	5,106
A-2hc	778	55	18	0	0	0	0	0	0	0	0	0	0	0	0	0	0
B-1 (Tax)	1,006	57	16	2	2	2	0	0	0	4	6	6	22	1,254	352	22,132	23,738
B-1hc	1,006	57	16	0	0	0	0	0	0	1	0	0	1	57	16	1,006	1,079
B-1hv	1,006	57	16	0	0	0	0	0	0	1	0	0	1	57	16	1,006	1,079
B-2 (Tax)	1,061	65	17	4	4	4	3	4	4	4	0	0	23	1,495	391	24,403	26,289
B-2hc	1,061	65	17	0	0	0	1	0	0	0	0	0	1	65	17	1,061	1,143
B-2hv	1,061	65	17	0	0	0	0	0	0	0	0	0	0	0	0	0	0
C-1 (Tax)	1,207	46	15	2	2	2	2	4	4	5	6	6	33	1,518	495	39,831	41,844
C-1hc	1,207	46	15	0	0	0	1	0	0	1	0	0	2	92	30	2,414	2,536
C-1hv	1,207	46	15	0	0	0	1	0	0	0	0	0	1	46	15	1,207	1,268
Total Units Per Building				12	12	12	8	8	8	12	12	12	96				
Patio/Balcony				882	882	882	572	572	572	804	804	804	6,774	Total SF	Total SF	Total SF	Total SF
Net Rentable - Units				11,658	11,658	11,658	9,072	9,072	9,072	13,278	13,278	13,278	102,024				
Net Rentable W/Patio				12,540	12,540	12,540	9,644	9,644	9,644	14,082	14,082	14,082	108,798			102,024	108,798

Building Quantity	Gross Per Floor Breakdown									TOTAL	
	CLUB	BUILDING TYPE 1			BUILDING TYPE 2			BUILDING #3			
	CLUB	1ST FLOOR	2ND FLOOR	3RD FLOOR	1ST FLOOR	2ND FLOOR	3RD FLOOR	1ST FLOOR	2ND FLOOR	3RD FLOOR	
Net Rentable - Units		11,658	11,658	11,658	9,072	9,072	9,072	13,278	13,278	13,278	102,024
Porches/Patios/Balconies		882	882	882	572	572	572	804	804	804	6,774
Club	3,483										3,483
Breezeway		2,282	2,282	2,282	1,913	1,913	1,913	3,086	3,086	3,086	12,585
Elevator/Stairs		152	0	0	152	0	0	223	0	0	304
Mech/Telecom/Electrical/FDC		133	64	64	120	51	51	146	58	58	483
Maintenance		0	0	0	0	0	0	0	0	0	0
Storage		136	136	136	224	224	224	117	117	117	1,080
Total Overall SqFt.	3,483	15,243	15,022	15,022	12,053	11,832	11,832	17,654	17,343	17,343	126,733

TOTAL COMMON AREA: 16,372 SQ. FT.

GHP - HEIGHTS AT CROWLEY		Provided Parking	
Site Acreage	7.221	Surface Spaces	241
Residential Density	13.3 Units per Acre	Surface HC Spaces	11
Building Height	3-Story Residential	Surface Van Spaces	2
Crowley Required Parking		Carport Space	0
1.5 spaces per 1-bedroom unit, 2 spaces per 2-bedroom or more unit. For 1-bedroom units, 1 visitor parking space provided for every 4 dwelling units.		Carport HC Spaces	0
Total Required: 210 spaces		Carport Van Spaces	0
		Total Spaces	252

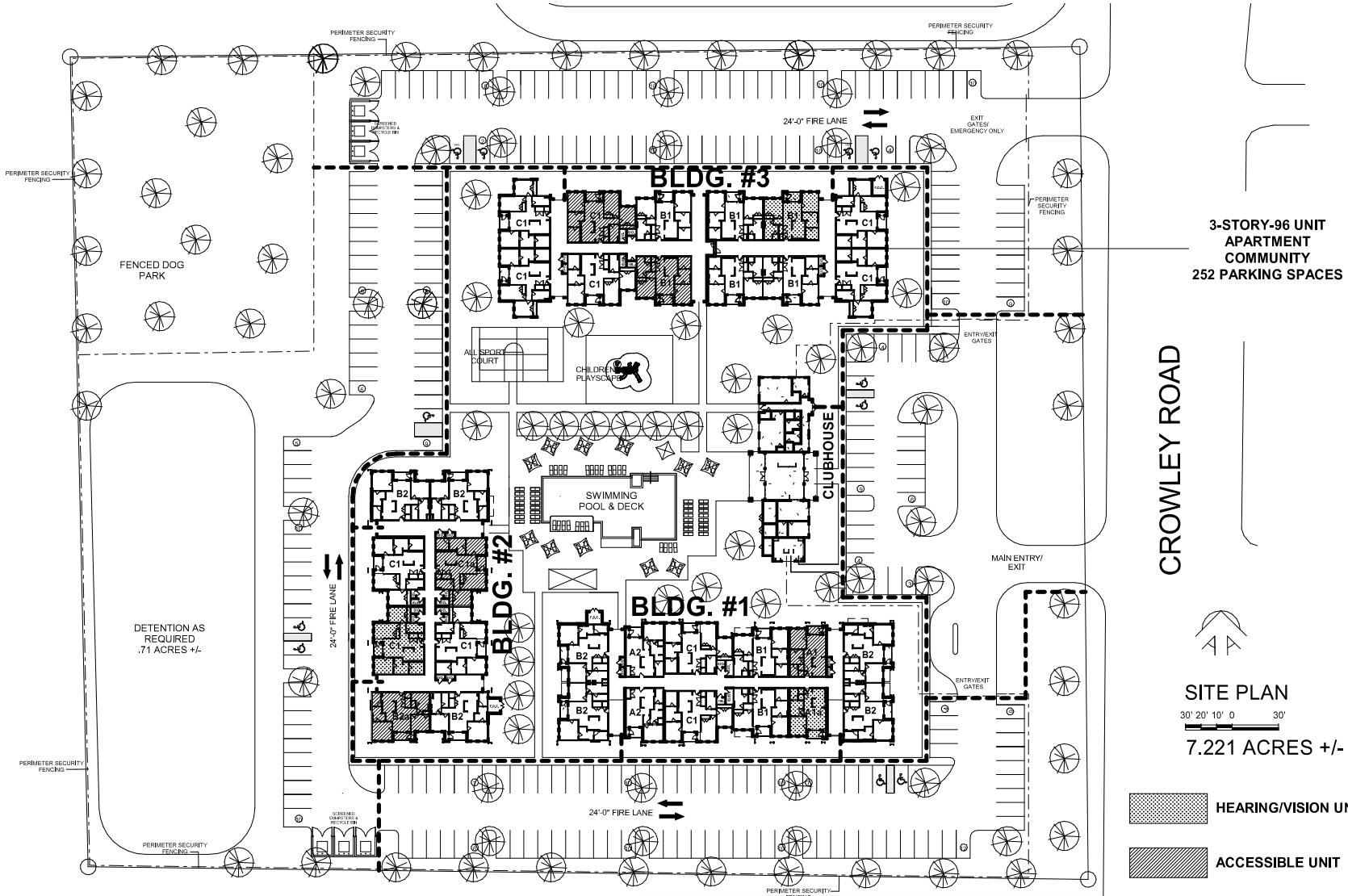
DATE:  
02/14/2021

HEIGHTS AT CROWLEY ROAD  
Fort Worth, Texas

\*NOTE:  
 APPLICANT ASSURES THAT 20%, 30%, 40%, 50%, 60%, 70%, AND 80% UNIT DESIGNATIONS ARE/WILL  
 BE DISPERSED ACROSS ALL UNIT TYPES IN A MANNER THAT DOES NOT VIOLATE FAIR HOUSING  
 LAWS.

\*NOTE:  
 SITE NOT IN THE FLOOD PLAIN




DATE:  
 02/14/2021



3-STORY-96 UNIT  
 APARTMENT  
 COMMUNITY  
 252 PARKING SPACES

CROWLEY ROAD

SITE PLAN  
 30' 20' 10' 0' 30'  
 7.221 ACRES +/-

-  HEARING/VISION UNIT
-  ACCESSIBLE UNIT
-  ACCESSIBLE ROUTE

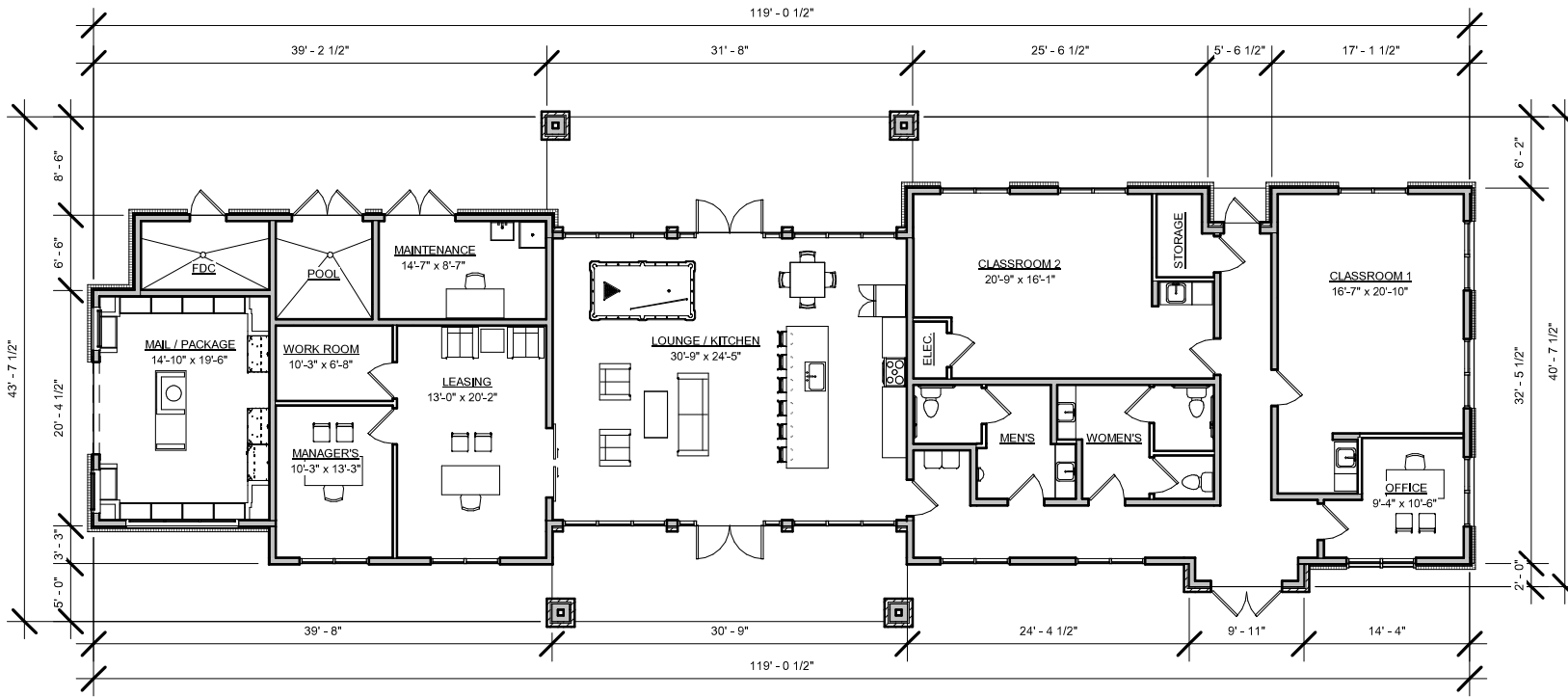
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1.5 spaces per 1-bedroom unit, 2 spaces per 2-bedroom or more unit. For 1-bedroom units, 1 visitor parking space provided for every 4 dwelling units.		Carport HC Spaces	0
Total Required: 210 spaces		Carport Van Spaces	0
		<b>Total Spaces</b>	<b>252</b>

Included in 11 total surface HC parking spaces

HEIGHTS AT CROWLEY ROAD

Fort Worth, Texas

**DATE:**  
02/14/2023



**1 CLUBHOUSE FLOOR PLAN**  
1/16" = 1'-0"

	AC	EMPLOYEE	RESIDENT
STORAGE	X	39 S.F.	N/A
MAIN, TELE., MECH., ELEC.		160 S.F.	N/A
OFFICES, WORK ROOM	X	354 S.F.	N/A
LEASING	X	N/A	284 S.F.
LOUNGE / KITCHEN	X	N/A	792 S.F.
CLASSROOM	X	N/A	801 S.F.
RESTROOMS	X	N/A	253 S.F.
MAIL / PACKAGE		N/A	312 S.F.
POOL / FDC		155 S.F.	N/A
CORRIDOR	X	N/A	333 S.F.
TOTAL		708 S.F.	2,775 S.F.
<b>BLDG TOTAL</b>		<b>3,483 S.F.</b> (EXCLUDING PORCHES / PATIOS)	

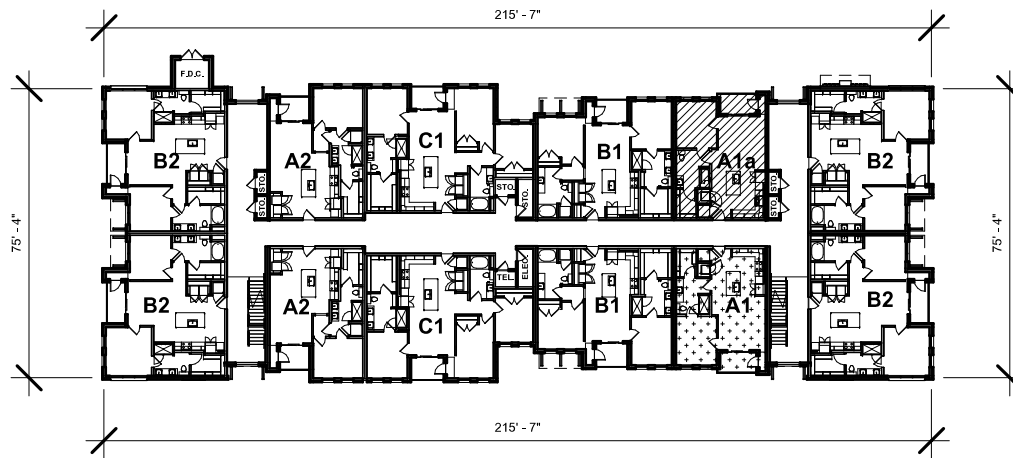
**HEIGHTS AT CROWLEY ROAD**

Fort Worth, Texas

**DATE:**  
02/14/2023

**HEIGHTS AT CROWLEY ROAD**

Fort Worth, Texas



**01 FIRST FLOOR PLAN - BUILDING #1**  
1" = 50'-0"

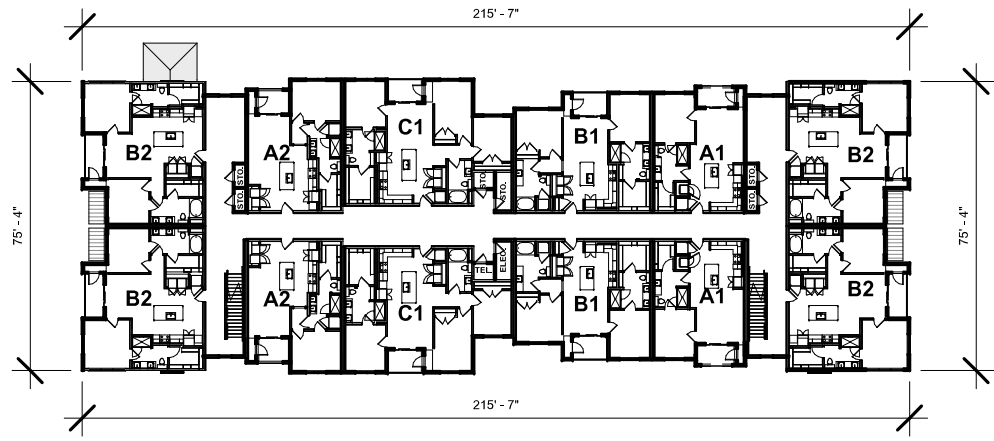
**BUILDING SQUARE FOOTAGE CHART:**

NET RENTABLE:	11,658 SQ. FT.
PORCHES / PATIOS /BALCONIES & BALCONY STORAGE	882 SQ. FT.
CLUBHOUSE:	N/A
STORAGE:	136 SQ. FT.
MECH / TELECOM / ELECTRICAL / FDC:	133 SQ. FT.
BREEZEWAY / CORRIDORS:	2,282 SQ. FT.
STAIRS / ELEVATORS:	152 SQ. FT.
GROSS SQ. FT.:	15, 243 SQ. FT.

 - HC ACCESSIBLE UNIT  
 - H / V: HEARING / VISION UNIT



**DATE:**  
02/14/2023

**HEIGHTS AT CROWLEY ROAD**  
Fort Worth, Texas



**02 SECOND FLOOR PLAN - BUILDING #1**  
1" = 50'-0"

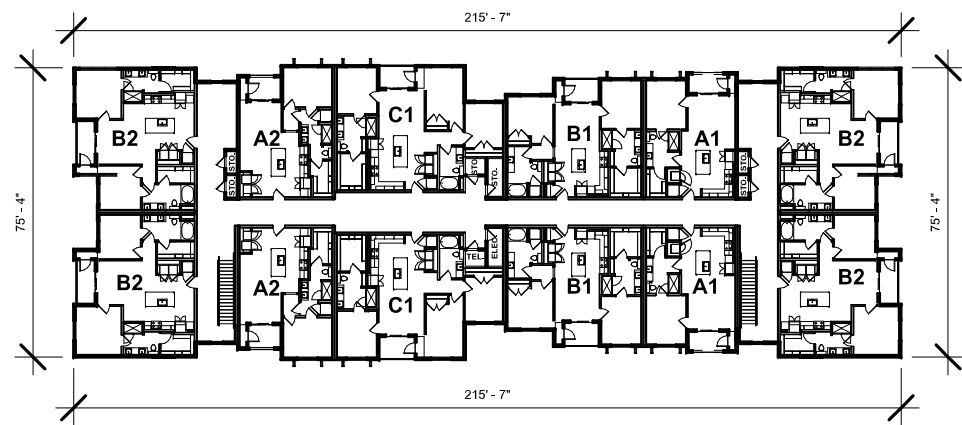
**BUILDING SQUARE FOOTAGE CHART:**

NET RENTABLE:	11,658 SQ. FT.
PORCHES / PATIOS & BALCONIES:	882 SQ. FT.
CLUBHOUSE:	N/A
STORAGE:	136 SQ. FT.
MECH / TELECOM / ELECTRICAL / FDC:	64 SQ. FT.
BREEZEWAY / CORRIDORS:	2,282 SQ. FT.
STAIRS / ELEVATORS:	N/A
GROSS SQ. FT.:	15,022 SQ. FT.
 - HC ACCESSIBLE UNIT	 - H / V: HEARING / VISION UNIT

**ARRIVE** ARCHITECTURE GROUP  
Architecture  
Planning  
Project Management  
2344 Highway 121 · Suite 100 · Bedford, Texas 76021 · www.ArriveAG.com  
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
**HEIGHTS AT CROWLEY ROAD**  
Fort Worth, Texas



03

**THIRD FLOOR PLAN - BUILDING #1**  
1" = 50'-0"

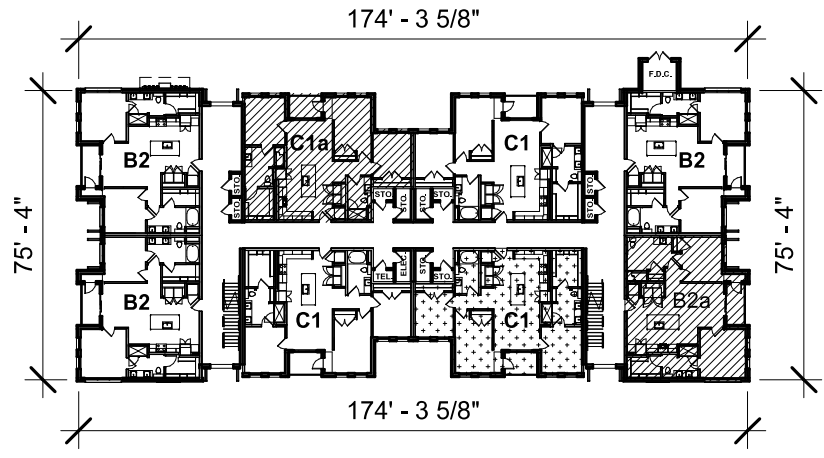
**BUILDING SQUARE FOOTAGE CHART:**

NET RENTABLE:	11,658 SQ. FT.
PORCHES / PATIOS & BALCONIES:	882 SQ. FT.
CLUBHOUSE:	N/A
STORAGE:	136 SQ. FT.
MECH / TELECOM / ELECTRICAL / FDC:	64 SQ. FT.
BREEZEWAY / CORRIDORS:	2,282 SQ. FT.
STAIRS / ELEVATORS:	N/A
GROSS SQ. FT.:	15,022 SQ. FT.
 - HC ACCESSIBLE UNIT	 - H / V: HEARING / VISION UNIT

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
**HEIGHTS AT CROWLEY ROAD**  
Fort Worth, Texas



**1** **FIRST FLOOR PLAN - BUILDING #2**  
1" = 50'-0"

**BUILDING SQUARE FOOTAGE CHART:**

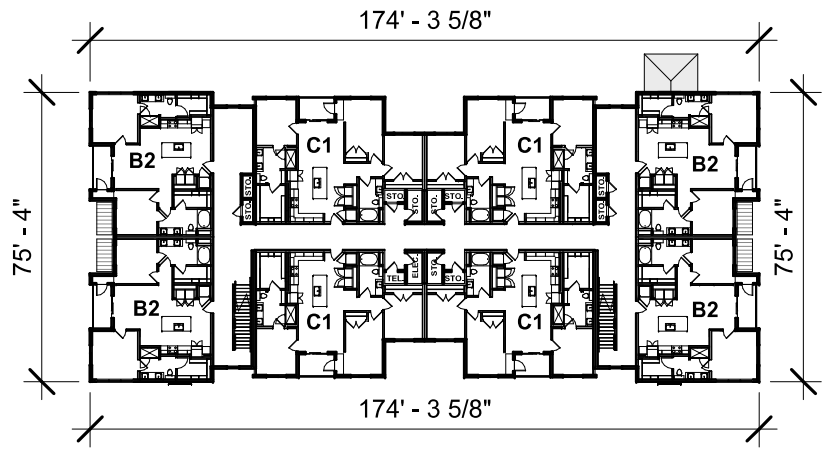
NET RENTABLE:	9,072 SQ. FT.
PORCHES / PATIOS / BALCONIES & BALCONY STORAGE:	572 SQ. FT.
CLUBHOUSE:	N/A
STORAGE:	224 SQ. FT.
MECH / TELECOM / ELECTRICAL / FDC:	120 SQ. FT.
BREEZEWAY / CORRIDORS:	1,913 SQ. FT.
STAIRS / ELEVATORS:	152 SQ. FT.
GROSS SQ. FT.:	12,053 SQ. FT.

 - HC ACCESSIBLE UNIT     
  - H / V: HEARING / VISION UNIT

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**HEIGHTS AT CROWLEY ROAD**  
Fort Worth, Texas





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**SECOND FLOOR PLAN - BUILDING #2**

1" = 50'-0"

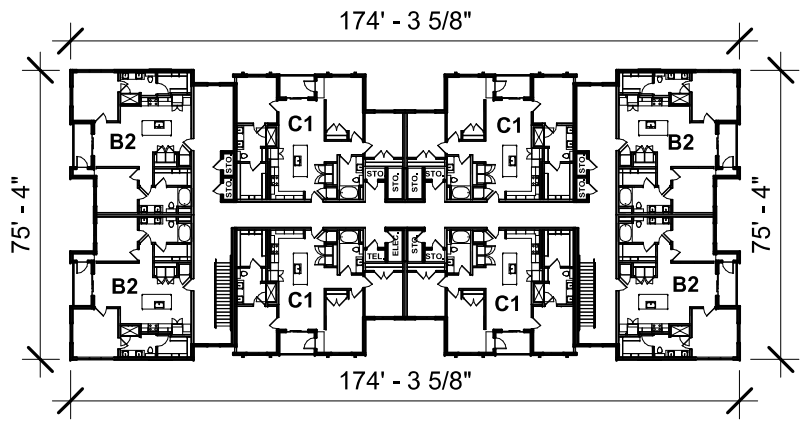
**BUILDING SQUARE FOOTAGE CHART:**

NET RENTABLE:	9,072 SQ. FT.
PORCHES / PATIOS & BALCONIES:	572 SQ. FT.
CLUBHOUSE:	N/A
STORAGE:	224 SQ. FT.
MECH / TELECOM / ELECTRICAL / FDC:	51 SQ. FT.
BREEZEWAY / CORRIDORS:	1,913 SQ. FT.
STAIRS / ELEVATORS:	N/A
GROSS SQ. FT.:	11,832 SQ. FT.
 - HC ACCESSIBLE UNIT	 - H / V: HEARING / VISION UNIT

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
**DATE:**  
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**HEIGHTS AT CROWLEY ROAD**  
Fort Worth, Texas



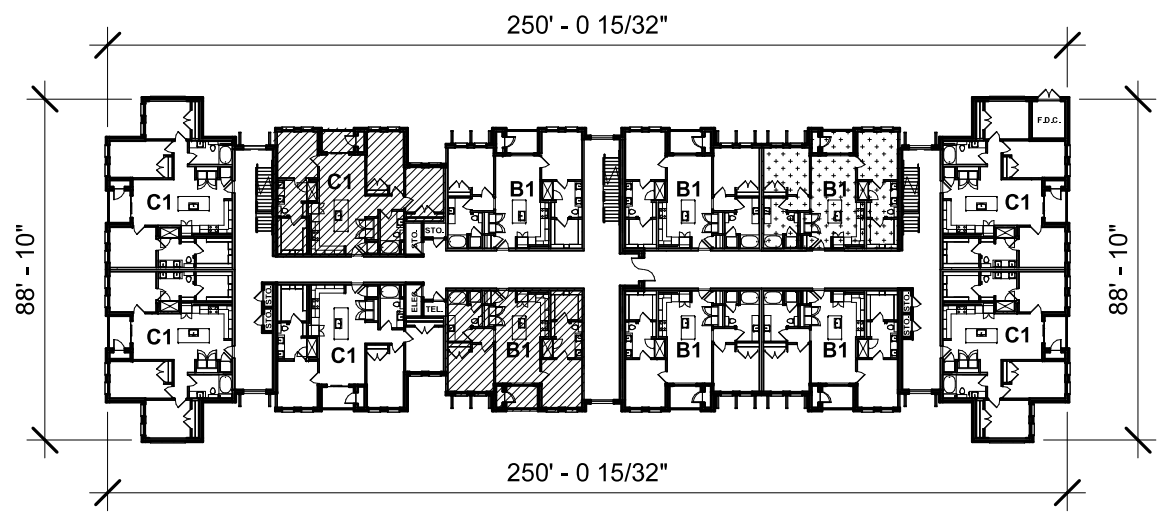
**1 THIRD FLOOR PLAN - BUILDING #2**  
1" = 50'-0"

**BUILDING SQUARE FOOTAGE CHART:**

NET RENTABLE:	9,072 SQ. FT.
PORCHES / PATIOS & BALCONIES:	572 SQ. FT.
CLUBHOUSE:	N/A
STORAGE:	224 SQ. FT.
MECH / TELECOM / ELECTRICAL / FDC:	51 SQ. FT.
BREEZEWAY / CORRIDORS:	1,913 SQ. FT.
STAIRS / ELEVATORS:	N/A
GROSS SQ. FT.:	11,832 SQ. FT.
 - HC ACCESSIBLE UNIT	 - H / V: HEARING / VISION UNIT

**DATE:**  
02/14/2023

**HEIGHTS AT CROWLEY ROAD**  
Fort Worth, Texas



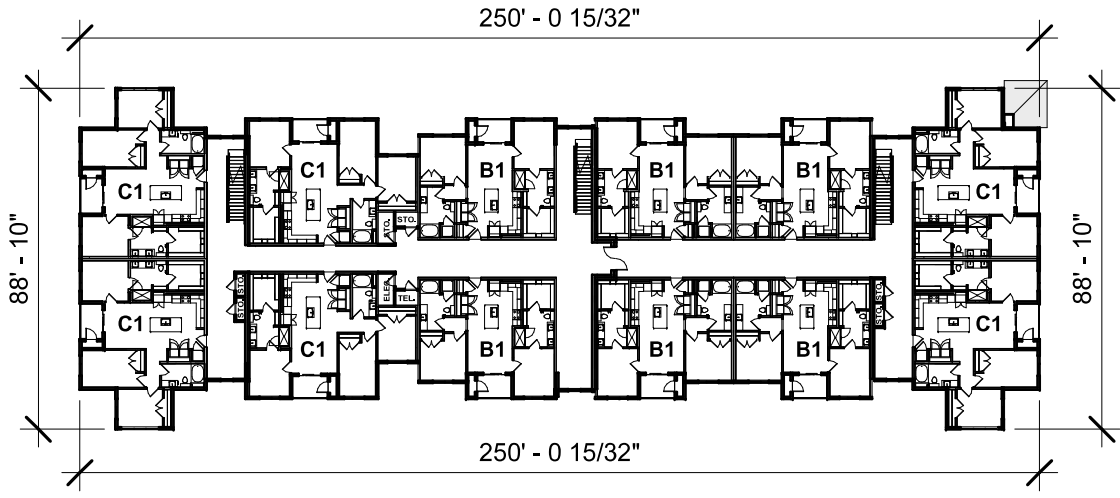
**1** **FIRST FLOOR PLAN - BUILDING #3**  
1" = 50'-0"

**BUILDING SQUARE FOOTAGE CHART:**

NET RENTABLE:	13,278 SQ. FT.
PORCHES / PATIOS & BALCONIES:	804 SQ. FT.
CLUBHOUSE:	N/A
STORAGE:	117 SQ. FT.
MECH / TELECOM / ELECTRICAL / FDC:	146 SQ. FT.
BREEZEWAY / CORRIDORS:	3,086 SQ. FT.
STAIRS / ELEVATORS:	223 SQ. FT.
GROSS SQ. FT.:	17,854 SQ. FT.
- HC ACCESSIBLE UNIT	- H / V: HEARING / VISION UNIT



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**HEIGHTS AT CROWLEY ROAD**  
Fort Worth, Texas



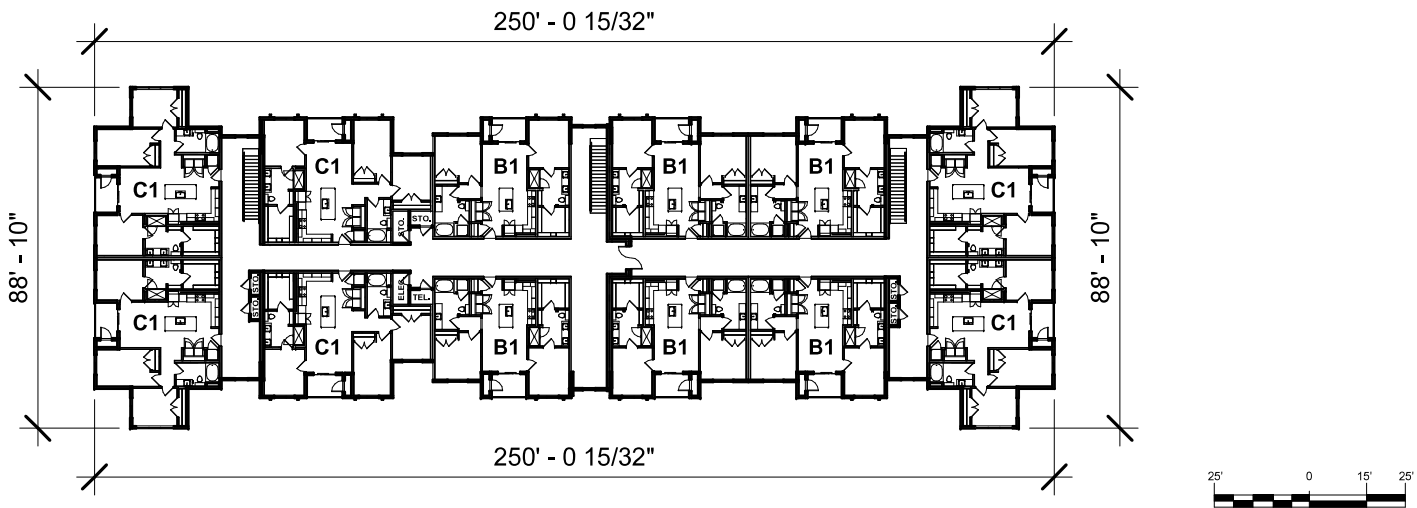
**1 SECOND FLOOR PLAN - BUILDING #3**  
1" = 50'-0"

**BUILDING SQUARE FOOTAGE CHART:**

NET RENTABLE:	13,278 SQ. FT.
PORCHES / PATIOS & BALCONIES:	804 SQ. FT.
CLUBHOUSE:	N/A
STORAGE:	117 SQ. FT.
MECH / TELECOM / ELECTRICAL / FDC:	58 SQ. FT.
BREEZEWAY / CORRIDORS:	3,086 SQ. FT.
STAIRS / ELEVATORS:	N/A
GROSS SQ. FT.:	17,343 SQ. FT.
 - HC ACCESSIBLE UNIT	 - H / V: HEARING / VISION UNIT

**DATE:**  
02/14/2023

**HEIGHTS AT CROWLEY ROAD**  
Fort Worth, Texas



**1** **THIRD FLOOR PLAN - BUILDING #3**  
1" = 50'-0"

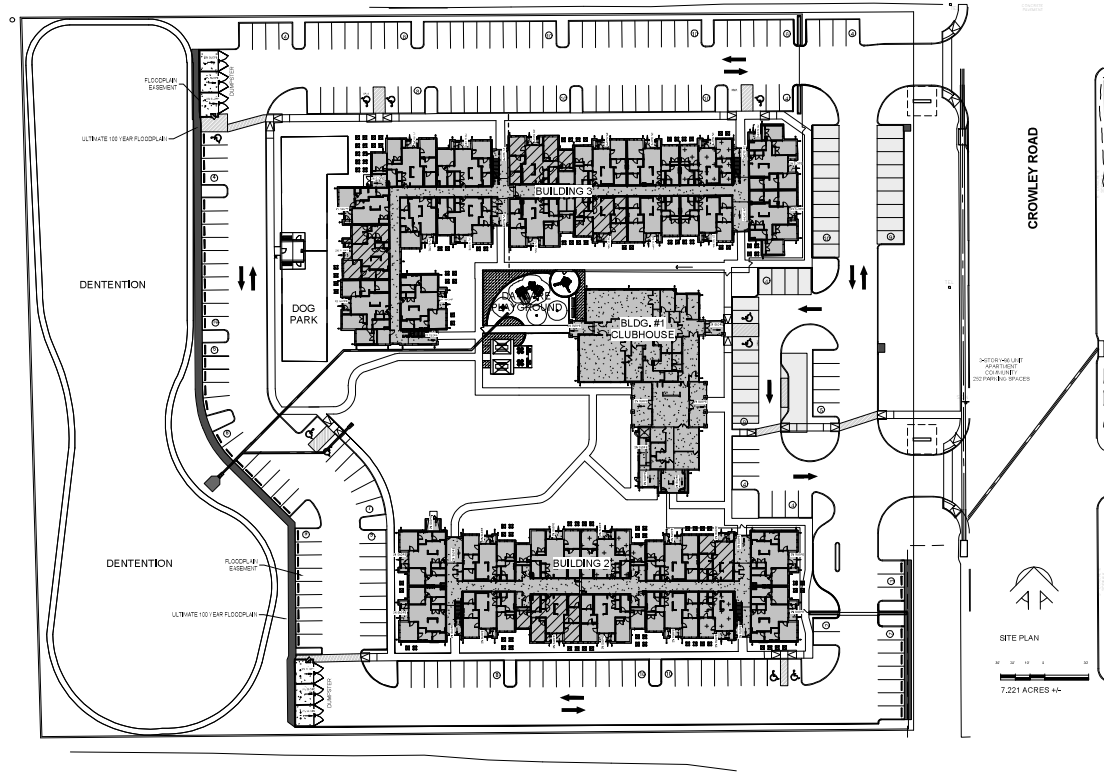
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STAIRS / ELEVATORS:	N/A
GROSS SQ. FT.:	17,343 SQ. FT.
- HC ACCESSIBLE UNIT	- H / V: HEARING / VISION UNIT

# **REVISED APPLICATION EXHIBITS: REVISED DESIGN (ARCHITECTURAL) PLANS**

# HEIGHTS AT CROWLEY ROAD

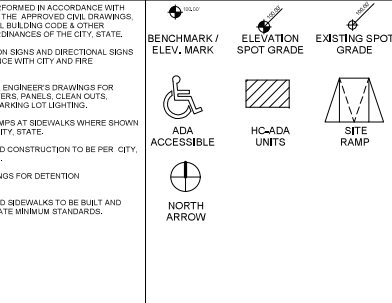
Fort Worth, TX



01 ARCHITECTURAL REFERENCE SITE PLAN  
1" = 40'-0"

### ARCHITECTURAL SITE PLAN GENERAL NOTES

1. THE ARCHITECTURAL DRAWINGS GRAPHICALLY INDICATE APPROXIMATE LOCATION OF BUILDINGS, PARKING AND DRIVES ONLY.
2. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR LANDSCAPING, SIDEWALKS & ACCESSIBLE ROUTES TO BUILDING PER REQUIREMENTS OF THE FAIR HOUSING GUIDELINES, VEHICULAR ACCESS CONTROL, GATES, AND 1 HANDICAP SPACES.
3. REFER TO CIVIL ENGINEER'S DRAWINGS FOR LEGAL DESCRIPTION AND BUILDING LOCATIONS ON PROJECT SITE.
4. REFER TO CIVIL ENGINEER'S DRAWINGS FOR LOCATION OF REQUIRED RETAINING WALLS, AND ANY OTHER SITE FEATURES.
5. ALL DIMENSIONS INDICATED ON THIS PLAN ARE FOR REFERENCE ONLY. REFER TO CIVIL ENGINEER'S DRAWINGS FOR ALL DIMENSIONAL CONTROLS, GRADING, DRAINAGE & UTILITY WORK.
6. ALL SURFACE MATERIALS SHALL MEET CITY, STATE PUBLIC WORKS DEPARTMENT MINIMUM STANDARDS.
7. ALL LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH ALL STANDARDS AND REQUIREMENTS SET FORTH BY CITY, STATE.
8. ALL SIGNS, LIGHTING, LUMINAIRES AND EXTERIOR SPEAKERS SHALL MEET CITY ORDINANCES.
9. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPROVED CIVIL DRAWINGS, THE 2018 INTERNATIONAL BUILDING CODE & OTHER REQUIREMENTS AND ORDINANCES OF THE CITY, STATE.
9. BUILDING IDENTIFICATION SIGNS AND DIRECTIONAL SIGNS SHALL BE IN ACCORDANCE WITH CITY AND FIRE REQUIREMENTS.
10. REFER TO MECHANICAL ENGINEER'S DRAWINGS FOR LOCATIONS OF ALL METERS, PANELS, CLEAN OUTS, TRANSFORMERS AND PARKING LOT LIGHTING.
11. PROVIDE HANDICAP RAMPS AT SIDEWALKS WHERE SHOWN AND AS REQUIRED BY CITY, STATE.
12. FIRE LANE STRIPING AND CONSTRUCTION TO BE PER CITY, STATE REQUIREMENTS.
13. REFER TO CIVIL DRAWINGS FOR DETENTION REQUIREMENTS IF ANY.
14. ALL PAVING, CURBS AND SIDEWALKS TO BE BUILT AND DETAILED PER CITY, STATE MINIMUM STANDARDS.

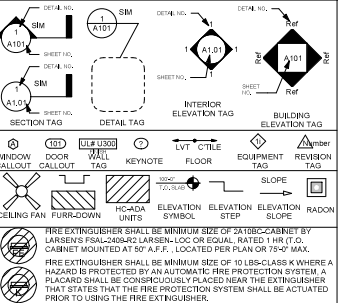


### WALL TYPES LEGENDS

[Symbol]	UL #1302	1HR-INTERIOR PARTITION WALL	[Symbol]	ULP #8102	1HR-BREEZEWAY WALL/UNIT WALL
[Symbol]	UL #1302	1HR-INTERIOR CORRIDOR WALL	[Symbol]	UL #1356	1HR-EXTERIOR BRICK WALL
[Symbol]	UL #1302	1HR-INTERIOR TENANT WALL	[Symbol]	UL #1356	1HR-EXTERIOR BRICK SIDING/PANEL WALL
[Symbol]	UL #1302	1HR-INTERIOR WALL	[Symbol]	UL #1356	1HR-EXTERIOR STONE VENEER WALL
[Symbol]	UL #1302	2HR-STAIR WALL	[Symbol]	UL #1450	1HR-EXTERIOR STUCCO WALL
[Symbol]	UL #1302	2HR-STAIR WALL BREAK	[Symbol]	UL #1423	1HR/2HR-INTERIOR METAL FRAMING WALL
[Symbol]	ULP #3302	2HR-STAIR/WALL UNIT WALL	[Symbol]	UL #1425	1HR/2HR-EXTERIOR METAL FRAMING WALL
[Symbol]	UL #1302	2 HOUR FIREWALL (NOTE: 2 HOUR FIREWALL TO CONTINUE INTO ATTIC SPACE ABOVE PORCH. <b>DO NOT PENETRATE</b> )	[Symbol]	UL #1305	2HR-CMU BLOCK
[Symbol]	UL #1302	2HR WALL	[Symbol]	UL #1922	1HR-ROOF/CEILING
[Symbol]	FC #510	1HR-FLOOR/CEILING	[Symbol]	UL #M521	2HR-FLOOR/CEILING
[Symbol]	FC #510	2HR-FLOOR/CEILING	[Symbol]	FC #5406	1HR-FLOOR/CEILING

NOT ALL ULS LISTED WILL BE USED REFER TO DETAIL DRAWINGS FOR UL WALL DETAILS REFER TO ELEVATIONS FOR TYPE OF EXTERIOR FINISH MATERIALS

### SYMBOLS



### VICINITY MAP



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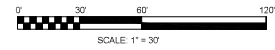
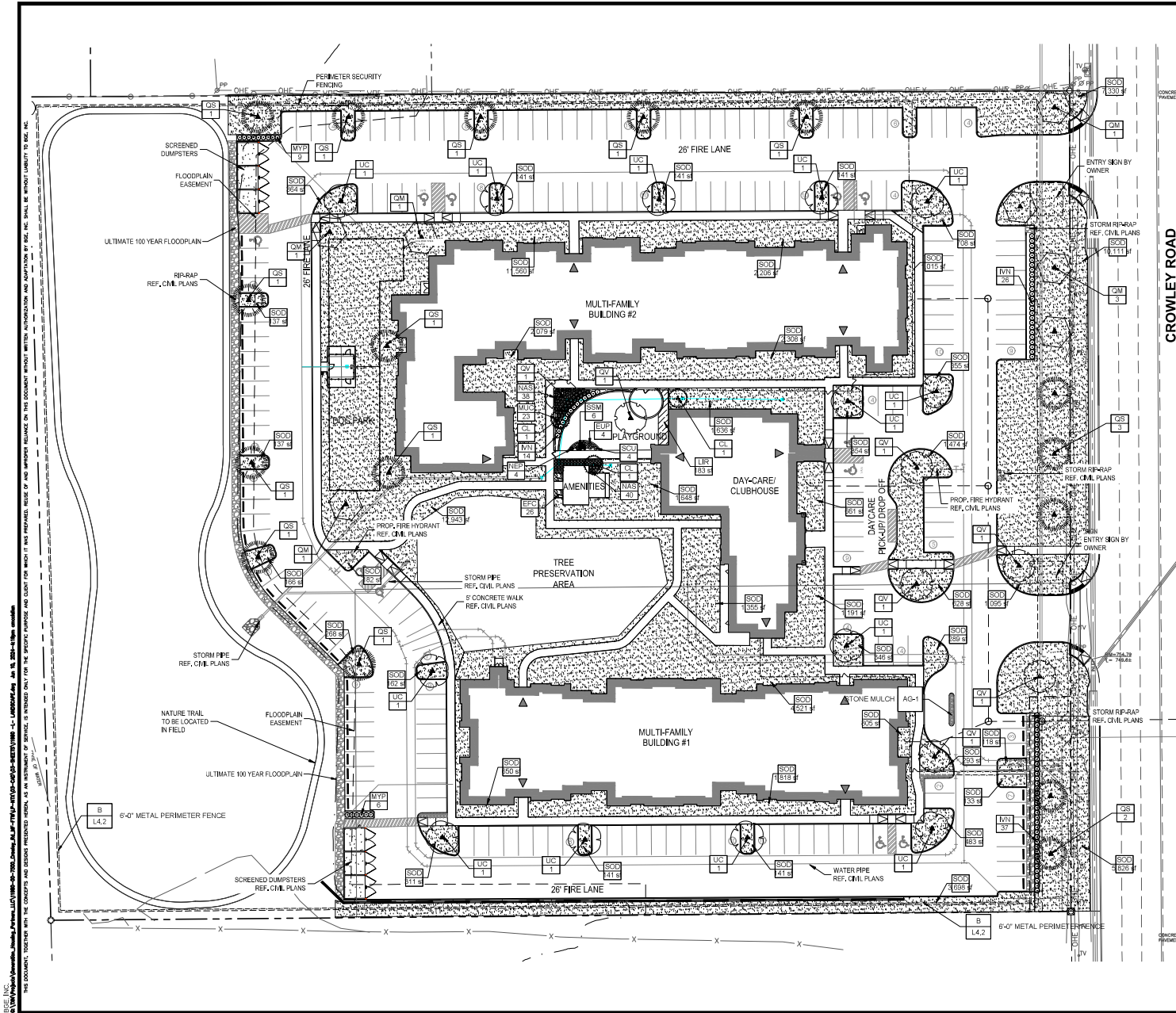
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PH: 817.514.0584 - FX: 817.514.0594



DATE: 06/10/2024

PROJECT: As indicated

SHEET NO. G2.00



PLANT SCHEDULE			
SYMBOL	CODE	QTY	BOTANICAL NAME
<b>CANOPY TREES</b>			
	QM	7	Quercus macrocarpa
	QS	16	Quercus shumardii
	QV	7	Quercus virginiana
	UC	13	Ulmus crassifolia
<b>ORNAMENTAL TREES</b>			
	CL	3	Chilopsis linearis
<b>SHRUBS</b>			
	EUP	4	Eupatorium greggii
	IWN	77	Ilex vomitoria 'Nana'
	MYP	15	Myrica pusilla
	NEP	4	Nepeta x 'Clar's Pajamas'
	SSM	6	Salvia x sylvestris 'May Night'
	SCU	4	Scutellaria suffruticosa
<b>GRASSES</b>			
	MUC	23	Muhlenbergia capillaris
	NAS	78	Nassella tenuissima
<b>GROUND COVERS</b>			
	EFC	26	Euonymus fortunei 'Cobratrus'
	LIR	183 sf	Liriope gigantea
<b>SOD</b>			
	SOD	82,069 sf	Cynodon dactylon

CROWLEY ROAD

**BGE, Inc.**  
 777 Main St., Suite 1900  
 Fort Worth, TX 76102  
 Tel: 817-487-6130 • www.bgeinc.com  
 TBPE Registration No. F-1046  
 Contact: Ross Mellon  
 Tel: 817-487-6131  
 Copyright 2023

**GENERATION HOUSING PARTNERS**  
 Generation Housing Partners, LLC  
 17440 North Dallas Parkway, Suite 120  
 Dallas, Texas 75237

**LANDSCAPE PLAN**  
**THE HEIGHTS AT CROWLEY**  
 7500 CROWLEY ROAD  
 TSPS CATEGORY 1A, CONDITION 2  
 S.M. & M.G. RAILROAD CO. SURVEY, ABST. # 183  
 7.21 ACRES  
 CITY OF FORT WORTH  
 TARRANT COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE LANDSCAPE ARCHITECT:  
 CLINT MCQUEEN, P.L.A.  
 TEXAS REGISTRATION NO. 3879  
 BGE, INC.  
 TEXAS REGISTERED ENGINEERING FIRM F-1046  
 JUNE 10, 2024

REVISIONS		
REV. NO.	DATE	DESCRIPTION

DRAWN BY: NPS  
 CHECKED BY: CM  
 DATE: 6/10/24  
 PROJECT NUMBER: 11880-00  
 Sheet No.

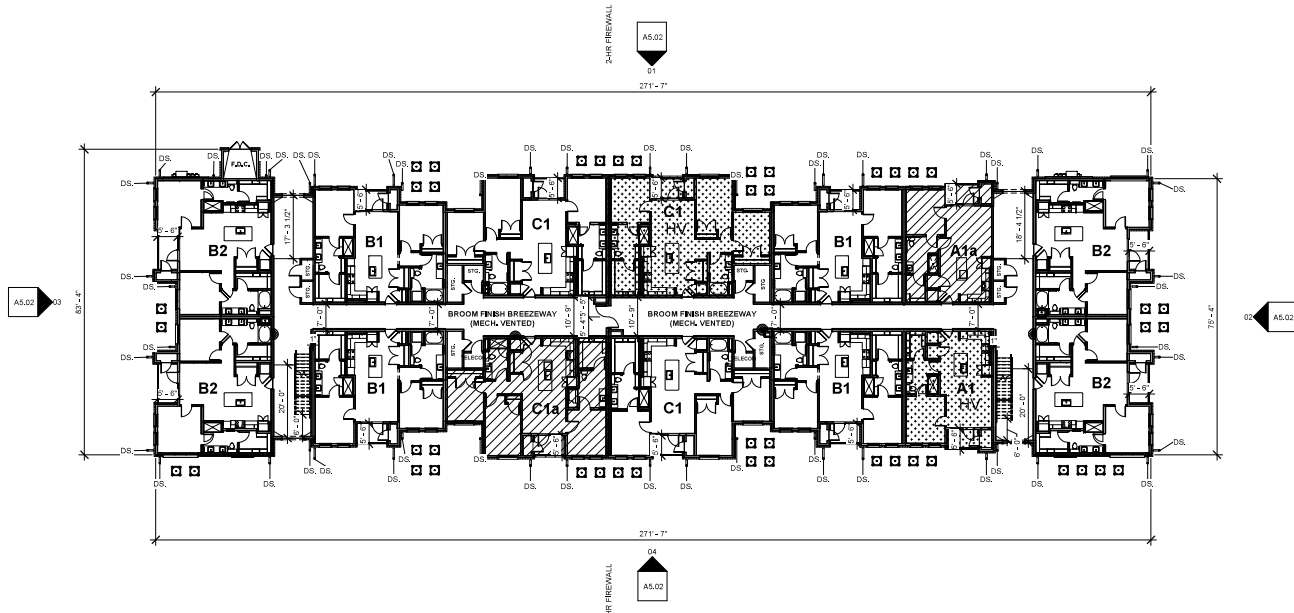


**Know what's below.  
 Call before you dig.**  
 (@ least 48 hours prior to digging)

**L2.01**  
 LANDSCAPE PLAN



01



**01 BUILDING 2 FIRST FLOOR PLAN**  
1/16" = 1'-0"

**BUILDING PLAN GENERAL NOTES**

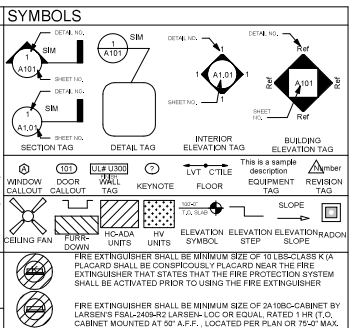
1. DETAILS ON THIS SHEET ARE TYPICAL UNLESS NOTED OTHERWISE.
2. REFER TO SHEET A3.03 FOR FLASHING AND WATERPROOFING NOTES, DIMENSIONS AND DETAILS.
3. SOME TOLERANCES BETWEEN MATERIAL ARE SHOWN ENLARGED FOR CLARITY.
4. SLOPE ALL FINISHED SURFACES OF PARTIDES 1/4 INCH PER FOOT MAX TO DRAIN UNLESS OTHERWISE NOTED.
5. REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES AND DIMENSIONS.
6. ALL EXTERIOR INTERIOR BEARINGS AND SEPERATION WALLS TO BE 1 HOUR RATED UNLESS OTHERWISE NOTED.
7. REFER TO CIVIL ENGINEERS DRAWINGS FOR SLAB ELEVATIONS.
8. REFER TO ELEVATIONS/MEP PLANS FOR EXTERIOR LIGHT LOCATIONS.
9. REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR SHEAR WALL LOCATIONS.
10. REFER TO MEP PLANS FOR WATER SUPPLY TO SPRINKLER CLOSE.
11. SEE SHEET 01.04 FOR EXACT BLOCKING HEIGHT AND LOCATION.
12. REFER TO 01.05 FOR ADA SINK HEIGHT GUIDELINES (SINK TYPE SPECIFIC).
13. ALL UNIT ENTRY DOORS TO HAVE A MINIMUM 18 INCH CLEARANCE ON THE FULL SIDE OF THE DOOR.
14. 18 INCH HOLD AT TOILET TO BE HELD FROM FINISH MATERIALS.
15. FIRE SPRINKLER PIPES CROSSING BREEZEWAYS TO BE INSULATED AS REQUIRED PER CODE.
16. FIRE SPRINKLER IN ATTIC TO BE TENTED AS REQUIRED PER FIRE MARSHAL CITY REQUIREMENTS.
17. DRYER EXHAUST VENTS TO BE LOCATED MINIMUM 36 INCHES AWAY FROM OPERABLE WINDOW OPENING.
18. FURR-DOWNS AT BATHROOM FOR 'PANCAKE/CASSETTE' TYPE HVAC UNITS TO BE OF NON-COMBUSTIBLE CONSTRUCTION MATERIALS AS REQUIRED PER CODE OR BE UNIT TYPE THAT DOES NOT REQUIRE NON-COMBUSTIBLE CONSTRUCTION.
19. CASED OPENINGS TO BE TRIMMED OUT TO MATCH DOOR'S WALL LOCATIONS.
20. ELECTRICAL OUTLETS AT BATHROOMS IN ADA UNITS TO BE INSTALLED HORIZONTALLY IF REQUIRED FOR CLEARANCE AT MEDICINE CABINETS AS NEEDED.
21. BLOCKING TO BE PROVIDED ON WALLS/ CABINETS FOR MOUNTING OF CONCEALED BRACKETS FOR COUNTERTOP SUPPORT.

22. LIGHTING, PLUMBING, FIXTURES, APPLIANCES, AND MISCELLANEOUS HARDWARE ON PLANS FOR REFERENCE ONLY. REFER TO INTERIOR DESIGN SPECIFICATIONS AND OWNER APPROVED ITEMS PRIOR TO FINAL INSTALLATIONS.
23. ALL DOORS TO BE 6 FEET AT UNITS WITH A PLATE HEIGHT OF 16" FEET OR TALLER. REFER TO BUILDING PLAN, ELEVATIONS, AND SECTIONS FOR BUILDING PLATE HEIGHTS.
24. ALL WET WALLS TO BE 2 X 6 INCH FRAMED WALLS.
25. CORRIDOR FLOOR JOINTS TO BE LOCATED AT EACH OFFSET JOINT SHOULD RUN STRAIGHT ACROSS ENTIRE CORRIDOR WIDTH.
26. ALL GARAGE WALLS TO HAVE 6 INCH HIGH AND 6 INCH WIDE STEM WALL. REFER TO STRUCTURAL.
27. WHERE THE 2 HOUR FIREWALL INTERSECTS THE EXTERIOR FACE OF THE BUILDING AT AN ANGLE LESS THAN 180 DEGREES, A LINEAR FEET IN EITHER DIRECTION MUST MEET UL ASSEMBLY FOR A 1 HOUR WALL EXPOSED TO FIRE ON BOTH SIDES. OPENINGS WITHIN THE 4 FOOT MUST BE 46 MINUTES FIRE RATED.

**WALL TYPES LEGENDS**

UL #1302	1HR-INTERIOR PARTITION WALL	LVP #81203	1HR-BREEZEWAY WALL/UNIT WALL
UL #1302	1HR-INTERIOR CORRIDOR WALL	UL #13356	1HR-EXTERIOR BRICK WALL
UL #1341	1HR-INTERIOR TENANT WALL	UL #13356	1HR-EXTERIOR WOOD SIDING/PANEL WALL
UL #1301	1HR-INTERIOR WALL	UL #13356	1HR-EXTERIOR STONE VENEER WALL
UL #1301	2HR-STAIR WALL	UL #14550	1HR-EXTERIOR STUCCO WALL
UL #1301	2HR-STAIR WALL BREAK	UL #1421	1HR/2HR-INTERIOR METAL FRAMING WALL
LVP #1301	2HR-STAIR/UNIT WALL	UL #1425	1HR/2HR-EXTERIOR METAL FRAMING WALL
UL #1302	2HR-FLOOR/CEILING	UL #1305	2HR-CMU BLOCK
UL #1302	2 HOUR FIREWALL (NOTE: 2 HOUR FIREWALL TO CONTINUE INTO ATTIC SPACE ABOVE PORCH. <b>DO NOT PENETRATE</b> )		
DW	DISHWASHER	CTOP	COUNTERTOP
W	WASHER	PAN	PANTRY
D	DRIVER	FSC	FIRE SPRINKLER CLOSET
WH	WATER HEATER	LN	LINEN
REF	REFRIGERATOR	MR	MACHINE ROOM
WD	WOOD FLOOR	JAN	JANITOR
CTLE	CERAMIC TILE	TR	TRASH ROOM
LVP	LAMINATED VINYL PLANK	PWR	POWDER ROOM
LVT	LAMINATED VINYL TILE	STOR	STORAGE

NOT ALL ULS LISTED WILL BE USED REFER TO DETAIL DRAWINGS FOR UL WALL DETAILS REFER TO ELEVATIONS FOR TYPE OF EXTERIOR FINISH MATERIALS



**HEIGHTS AT CROWLEY ROAD**  
Fort Worth, TX

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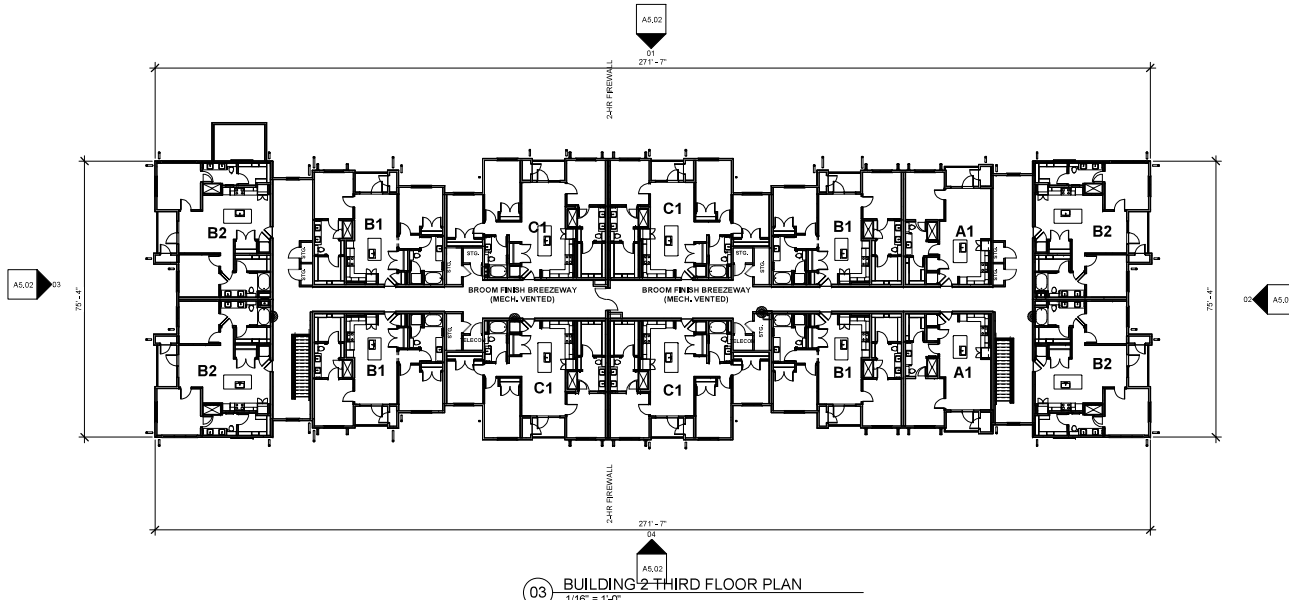


PROJECT NO.	06102024
DATE	06/10/2024
SCALE	As Indicated
DESIGNED BY	AAG
CHECKED BY	JMT
DATE	06/10/2024
SCALE	As Indicated
SHEET NO.	A1.21

A1.21 BUILDING 2 FIRST FLOOR PLAN



©2024 ARRIVE!



**03 BUILDING 2 THIRD FLOOR PLAN**  
1/16" = 1'-0"

**BUILDING PLAN GENERAL NOTES**

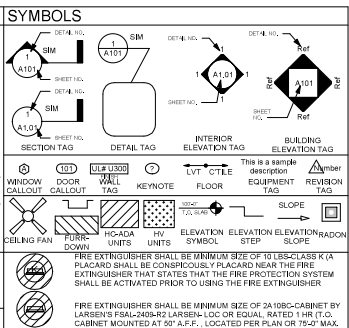
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4. SLOPE ALL FINISHED SURFACES OF PARTIDES 1/4 INCH PER FOOT MAX TO DRAIN UNLESS OTHERWISE NOTED.
5. REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES AND DIMENSIONS.
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8. REFER TO ELEVATIONS/MEP PLANS FOR EXTERIOR LIGHT LOCATIONS.
9. REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR SHEAR WALL LOCATIONS.
10. REFER TO MEP PLANS FOR WATER SUPPLY TO SPRINKLER CLOSE.
11. SEE SHEET G1.04 FOR EXACT BLOCKING HEIGHT AND LOCATION.
12. REFER TO G1.05 FOR ADA SINK HEIGHT GUIDELINES (SINK TYPE SPECIFIC).
13. ALL UNIT ENTRY DOORS TO HAVE A MINIMUM 18 INCH CLEARANCE ON THE FULL SIDE OF THE DOOR.
14. 18 INCH HOLD AT TOILET TO BE HELD FROM FINISH MATERIALS.
15. FIRE SPRINKLER PIPES CROSSING BREEZEWAYS TO BE INSULATED AS REQUIRED PER CODE.
16. FIRE SPRINKLER IN ATTIC TO BE TENTED AS REQUIRED PER FIRE MARSHAL CITY REQUIREMENTS.
17. DRYER EXHAUST VENTS TO BE LOCATED MINIMUM 36 INCHES AWAY FROM OPERABLE WINDOW OPENING.
18. FURR-DOWNS AT BATHROOM FOR 'PANCAKE/CASSETTE' TYPE HVAC UNITS TO BE OF NON-COMBUSTIBLE CONSTRUCTION MATERIALS AS REQUIRED PER CODE OR BE UNIT TYPE THAT DOES NOT REQUIRE NON-COMBUSTIBLE CONSTRUCTION.
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22. LIGHTING, PLUMBING, FIXTURES, APPLIANCES, AND MISCELLANEOUS HARDWARE ON PLANS FOR REFERENCE ONLY. REFER TO INTERIOR DESIGN SPECIFICATIONS AND OWNER APPROVED ITEMS PRIOR TO FINAL INSTALLATIONS.
23. ALL DOORS TO BE 6 FEET AT UNITS WITH A PLATE HEIGHT OF 10 FEET OR TALLER. REFER TO BUILDING PLAN, ELEVATIONS, AND SECTIONS FOR BUILDING PLATE HEIGHTS.
24. ALL WET WALLS TO BE 2 X 6 INCH FRAMED WALLS.
25. CORRIDOR FLOOR JOINTS TO BE LOCATED AT EACH OFFSET JOINT SHOULD RUN STRAIGHT ACROSS ENTIRE CORRIDOR WIDTH.
26. ALL GARAGE WALLS TO HAVE 6 INCH HIGH AND 6 INCH WIDE STEM WALL. REFER TO STRUCTURAL.
27. WHERE THE 2 HOUR FIREWALL INTERSECTS THE EXTERIOR FACE OF THE BUILDING AT AN ANGLE LESS THAN 180 DEGREES, 4 LINEAR FEET IN EITHER DIRECTION MUST MEET UL ASSEMBLY FOR A 1 HOUR WALL EXPOSED TO FIRE ON BOTH SIDES. OPENINGS WITHIN THE 4 FOOT MUST BE 45 MINUTES FIRE RATED.

**WALL TYPES LEGENDS**

UL #1302	1HR-INTERIOR PARTITION WALL	LVP #8103	1HR-BREEZEWAY WALL/UNIT WALL
UL #1302	1HR-INTERIOR CORRIDOR WALL	UL #1356	1HR-EXTERIOR BRICK WALL
UL #1324	1HR-INTERIOR TENANT WALL	UL #1356	1HR-EXTERIOR BRICK SIGN/PANEL WALL
UL #1301	1HR-INTERIOR WALL	UL #1356	1HR-EXTERIOR STONE VENEER WALL
UL #1301	2HR-STAIR WALL	UL #1455	1HR-EXTERIOR STUCCO WALL
UL #1301	2HR-STAIR WALL BREAK	UL #1421	1HR/2HR-INTERIOR METAL FRAMING WALL
LVP #330	2HR-STAIR/UNIT WALL	UL #1425	1HR/2HR-EXTERIOR METAL FRAMING WALL
UL #1302	2 HOUR FIREWALL (NOTE: 2 HOUR FIREWALL TO CONTINUE INTO ATTIC SPACE ABOVE PORCH. <b>DO NOT PENETRATE</b> )	UL #1305	2HR-CMU BLOCK
Z88 WALL	BLOCKING	UL #P522	1HR-ROOF/CEILING
UL #1523	1HR-FLOOR/CEILING	UL #M521	2HR-FLOOR/CEILING
UL #1550	2HR-FLOOR/CEILING	FC #5496	1HR-FLOOR/CEILING

NOT ALL ULs LISTED WILL BE USED REFER TO DETAIL DRAWINGS FOR UL WALL DETAILS REFER TO ELEVATIONS FOR TYPE OF EXTERIOR FINISH MATERIALS



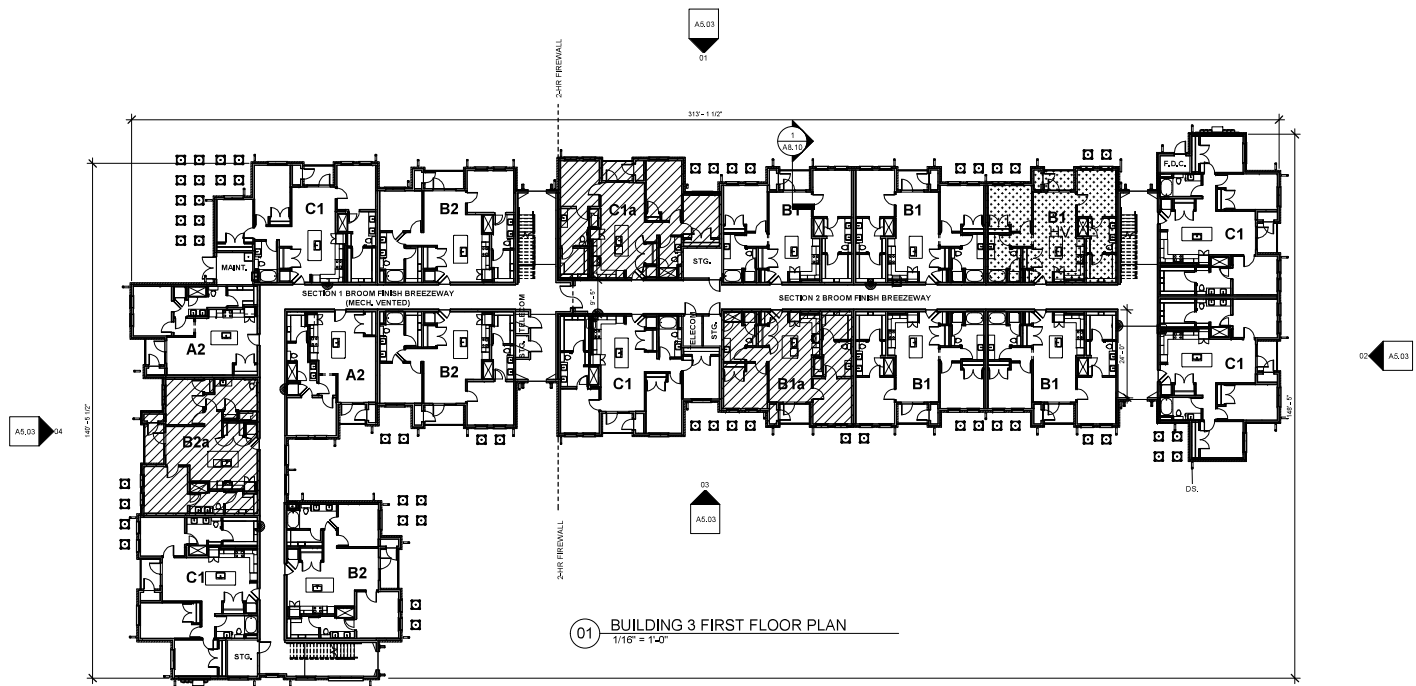
**HEIGHTS AT CROWLEY ROAD**  
Fort Worth, TX

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 PH 817.514.0584 - FX 817.514.0594



DATE	06/10/2024
BY	JMT
CHECKED BY	AAG
DATE	06/10/2024
BY	JMT
CHECKED BY	AAG
DATE	06/10/2024
BY	JMT
CHECKED BY	AAG

01/20/2024 10:28:49 AM



01 BUILDING 3 FIRST FLOOR PLAN  
1/16" = 1'-0"

**BUILDING PLAN GENERAL NOTES**

1. DETAILS ON THIS SHEET ARE TYPICAL UNLESS NOTED OTHERWISE.
2. REFER TO SHEET A5.03 FOR FLASHING AND WATERPROOFING NOTES, DIMENSIONS AND DETAILS.
3. SOME TOLERANCES BETWEEN MATERIAL ARE SHOWN ENLARGED FOR CLARITY.
4. SLOPE ALL FINISHED SURFACES OF PARTIDES 1/4 INCH PER FOOT MAX TO DRAIN UNLESS OTHERWISE NOTED.
5. REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES AND DIMENSIONS.
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8. REFER TO ELEVATIONS/MEP PLANS FOR EXTERIOR LIGHT LOCATIONS.
9. REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR SHEAR WALL LOCATIONS.
10. REFER TO MEP PLANS FOR WATER SUPPLY TO SPRINKLER CLOSE.
11. SEE SHEET G1.04 FOR EXACT BLOCKING HEIGHT AND LOCATION.
12. REFER TO G1.05 FOR ADA SINK HEIGHT GUIDELINES (SINK TYPE SPECIFIC).
13. ALL UNIT ENTRY DOORS TO HAVE A MINIMUM 18 INCH CLEARANCE ON THE FULL SIDE OF THE DOOR.
14. 18 INCH HOLD AT TOILET TO BE HELD FROM FINISH MATERIALS.
15. FIRE SPRINKLER PIPES CROSSING BREEZEWAYS TO BE INSULATED AS REQUIRED PER CODE.
16. FIRE SPRINKLER IN ATTIC TO BE TENTED AS REQUIRED PER FIRE MARSHAL CITY REQUIREMENTS.
17. DRYER EXHAUST VENTS TO BE LOCATED MINIMUM 36 INCHES AWAY FROM OPERABLE WINDOW OPENING.
18. FURR-DOWNS AT BATHROOM FOR 'PANCAKE/CASSETTE' TYPE HVAC UNITS TO BE OF NON-COMBUSTIBLE CONSTRUCTION MATERIALS AS REQUIRED PER CODE OR BE UNIT TYPE THAT DOES NOT REQUIRE NON-COMBUSTIBLE CONSTRUCTION.
19. GASED OPENINGS TO BE TRIMMED OUT TO MATCH DOOR'S WALL LOCATIONS.
20. ELECTRICAL OUTLETS AT BATHROOMS IN ADA UNITS TO BE INSTALLED HORIZONTALLY IF REQUIRED FOR CLEARANCE AT MEDICINE CABINETS AS NEEDED.
21. BLOCKING TO BE PROVIDED ON WALLS/ CABINETS FOR MOUNTING OF CONCEALED BRACKETS FOR COUNTERTOP SUPPORT.

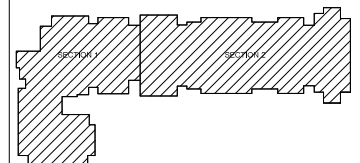
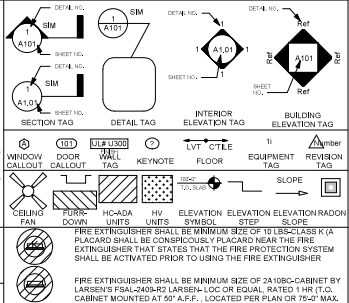
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  23. ALL DOORS TO BE 6 FEET AT UNITS WITH A PLATE HEIGHT OF 10 FEET OR TALLER. REFER TO BUILDING PLAN, ELEVATIONS, AND SECTIONS FOR BUILDING PLATE HEIGHTS.
  24. ALL WET WALLS TO BE 2 X 6 INCH FRAMED WALLS.
  25. CORRIDOR FLOOR JOINTS TO BE LOCATED AT EACH OFFSET JOINT SHOULD RUN STRAIGHT ACROSS ENTIRE CORRIDOR WIDTH.
  26. ALL GARAGE WALLS TO HAVE 8 INCH HIGH AND 6 INCH WIDE STEM WALL. REFER TO STRUCTURAL.
  27. WHERE THE 2 HOUR FIREWALL INTERSECTS THE EXTERIOR FACE OF THE BUILDING AT AN ANGLE LESS THAN 180 DEGREES, 4 LINEAR FEET IN EITHER DIRECTION MUST MEET UL ASSEMBLY FOR A 1 HOUR WALL EXPOSED TO FIRE ON BOTH SIDES. OPENINGS WITHIN THE 4 FOOT MUST BE 45 MINUTES FIRE RATED.
- DW = DRY-WASHER  
 HW = WASHER  
 DR = DRIVER  
 WH = WATER HEATER  
 REF = REFRIGERATOR  
 WF = WOOD FLOOR  
 CTLE = CERAMIC TILE  
 LVP = LAMINATED VINYL PLANK  
 LVT = LAMINATED VINYL TILE  
 CTOP = COUNTERTOP PAN / PAINTRY  
 FSC = FIRE SPRINKLER CLOSET  
 LIN = LINEN  
 MR = MACHINE ROOM  
 JAN = JANITOR  
 TR = TRASH ROOM  
 PWDR = POWDER ROOM  
 STOR = STORAGE

**WALL TYPES LEGENDS**

	UL #1030 1HR-INTERIOR PARTITION WALL		LVP #8120 1HR-BREEZEWAY WALL/UNIT WALL
	UL #1032 1HR-INTERIOR CORRIDOR WALL		UL #1035 1HR-EXTERIOR BRICK WALL
	UL #1034 1HR-INTERIOR TENANT WALL		UL #1036 1HR-EXTERIOR BRICK/SIDING/PANEL WALL
	UL #1031 1HR-INTERIOR WALL		UL #1038 1HR-EXTERIOR STONE VENEER WALL
	UL #1033 2HR-STAIR WALL		UL #1455 1HR-EXTERIOR STUCCO WALL
	UL #1037 2HR-STAIR WALL BREAK		UL #1423 1HR/2HR-INTERIOR METAL FRAMING WALL
	LVP #8120 2HR-STAIR/UNIT WALL		UL #1425 1HR/2HR-EXTERIOR METAL FRAMING WALL
	UL #1030 2 HOUR FIREWALL (NOTE: 2 HOUR FIREWALL TO CONTINUE INTO ATTIC SPACE ABOVE PORCH. (DO NOT PENETRATE))		UL #1426 2HR-CMU BLOCK
	2x6 WALL		UL #4522 1HR-ROOF/CEILING
	UL #5510 1HR-FLOOR/CEILING		UL #4523 2HR-FLOOR/CEILING
	UL #5520 2HR-FLOOR/CEILING		FC #5496 1HR-FLOOR/CEILING

NOT ALL ULS LISTED WILL BE USED REFER TO DETAIL DRAWINGS FOR UL WALL DETAILS REFER TO ELEVATIONS FOR TYPE OF EXTERIOR FINISH MATERIALS

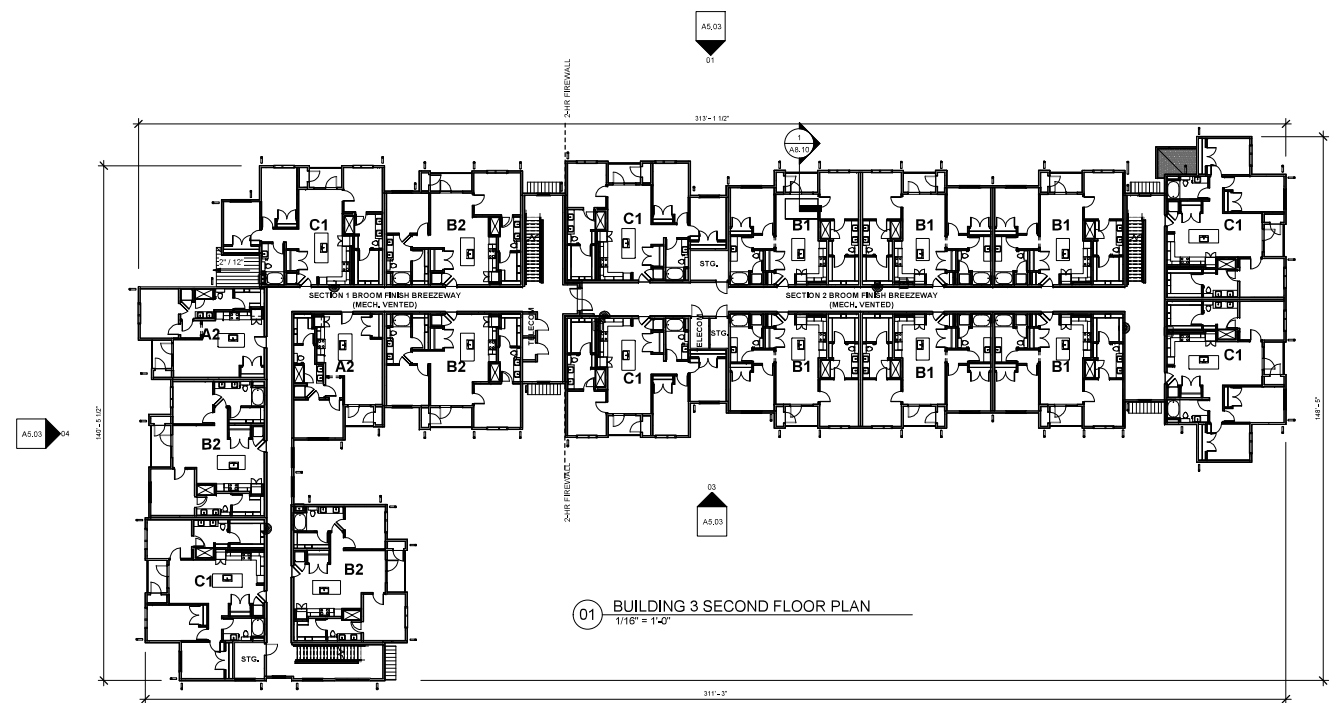
**SYMBOLS**



A1.31 BUILDING 3 FIRST FLOOR PLAN



01/20/24 10:23 AM



**01 BUILDING 3 SECOND FLOOR PLAN**  
1/16" = 1'-0"

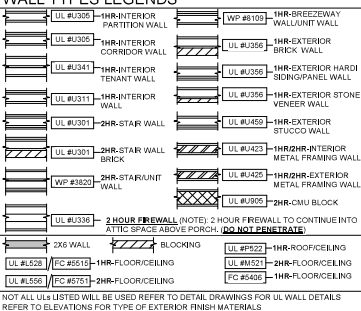
**BUILDING PLAN GENERAL NOTES**

1. DETAILS ON THIS SHEET ARE TYPICAL UNLESS NOTED OTHERWISE.
2. REFER TO SHEET A5.03 FOR FLASHING AND WATERPROOFING NOTES, DIMENSIONS AND DETAILS.
3. SOME TOLERANCES BETWEEN MATERIAL ARE SHOWN ENLARGED FOR CLARITY.
4. SLOPE ALL FINISHED SURFACES OF PARTIDES 1/4 INCH PER FOOT MAX TO DRAIN UNLESS OTHERWISE NOTED.
5. REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES AND DIMENSIONS.
6. ALL EXTERIOR INTERIOR BEARINGS, AND SEPERATION WALLS TO BE 1 HOUR RATED UNLESS OTHERWISE NOTED.
7. REFER TO CIVIL ENGINEERS DRAWINGS FOR SLAB ELEVATIONS.
8. REFER TO ELEVATIONS/MEP PLANS FOR EXTERIOR LIGHT LOCATIONS.
9. REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR SHEAR WALL LOCATIONS.
10. REFER TO MEP PLANS FOR WATER SUPPLY TO SPRINKLER CLOSE.
11. SEE SHEET G1.04 FOR EXACT BLOCKING HEIGHT AND LOCATION.
12. REFER TO G1.05 FOR ADA SINK HEIGHT GUIDELINES (SINK TYPE SPECIFIC).
13. ALL UNIT ENTRY DOORS TO HAVE A MINIMUM 18 INCH CLEARANCE ON THE FULL SIDE OF THE DOOR.
14. 18 INCH HOLD AT TOILET TO BE HELD FROM FINISH MATERIALS.
15. FIRE SPRINKLER PIPES CROSSING BREEZEWAYS TO BE INSULATED AS REQUIRED PER CODE.
16. FIRE SPRINKLER IN ATTIC TO BE TENTED AS REQUIRED PER FIRE MARSHAL CITY REQUIREMENTS.
17. DRYER EXHAUST VENTS TO BE LOCATED MINIMUM 36 INCHES AWAY FROM OPERABLE WINDOW OPENING.
18. FURR-DOWNS AT BATHROOM FOR 'PANCAKE/CASSETTE' TYPE HVAC UNITS TO BE OF NON-COMBUSTIBLE CONSTRUCTION MATERIALS AS REQUIRED PER CODE OR BE UNIT TYPE THAT DOES NOT REQUIRE NON-COMBUSTIBLE CONSTRUCTION.
19. CASED OPENINGS TO BE TRIMMED OUT TO MATCH DOORS.
20. ELECTRICAL OUTLETS AT BATHROOMS IN ADA UNITS TO BE INSTALLED HORIZONTALLY IF REQUIRED FOR CLEARANCE AT MEDICINE CABINETS AS NEEDED.
21. BLOCKING TO BE PROVIDED ON WALLS/ CABINETS FOR MOUNTING OF CONCEALED BRACKETS FOR COUNTERTOP SUPPORT.

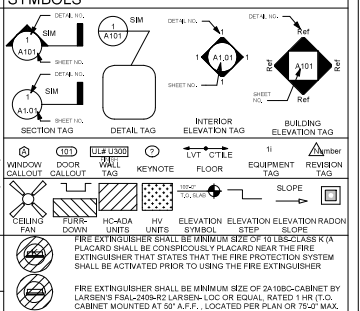
**WALL TYPES LEGENDS**

- |          |                             |          |                                     |
|----------|-----------------------------|----------|-------------------------------------|
| UL #1302 | 1HR-INTERIOR PARTITION WALL | UL #1025 | 1HR-BREEZEWAY WALL/UNIT WALL        |
| UL #1302 | 1HR-INTERIOR CORRIDOR WALL  | UL #1356 | 1HR-EXTERIOR BRICK WALL             |
| UL #1304 | 1HR-INTERIOR TENANT WALL    | UL #1356 | 1HR-EXTERIOR BRICK STONE/PANEL WALL |
| UL #1301 | 1HR-INTERIOR WALL           | UL #1356 | 1HR-EXTERIOR STONE VENEER WALL      |
| UL #1301 | 2HR-STAIR WALL              | UL #1450 | 1HR-EXTERIOR STUCCO WALL            |
| UL #1301 | 2HR-STAIR WALL              | UL #1423 | 1HR/2HR-INTERIOR METAL FRAMING WALL |
| UL #1301 | 2HR-STAIR/WALL              | UL #1425 | 1HR/2HR-EXTERIOR METAL FRAMING WALL |
| UL #1302 | 2HR-FLOOR/CILING            | UL #1305 | 2HR-CMU BLOCK                       |
| UL #1302 | 2HR-FLOOR/CILING            | UL #1305 | 2HR-FLOOR/CILING                    |
| UL #1302 | 2HR-FLOOR/CILING            | UL #1305 | 2HR-FLOOR/CILING                    |
- NOT ALL ULS LISTED WILL BE USED REFER TO DETAIL DRAWINGS FOR UL WALL DETAILS REFER TO ELEVATIONS FOR TYPE OF EXTERIOR FINISH MATERIALS

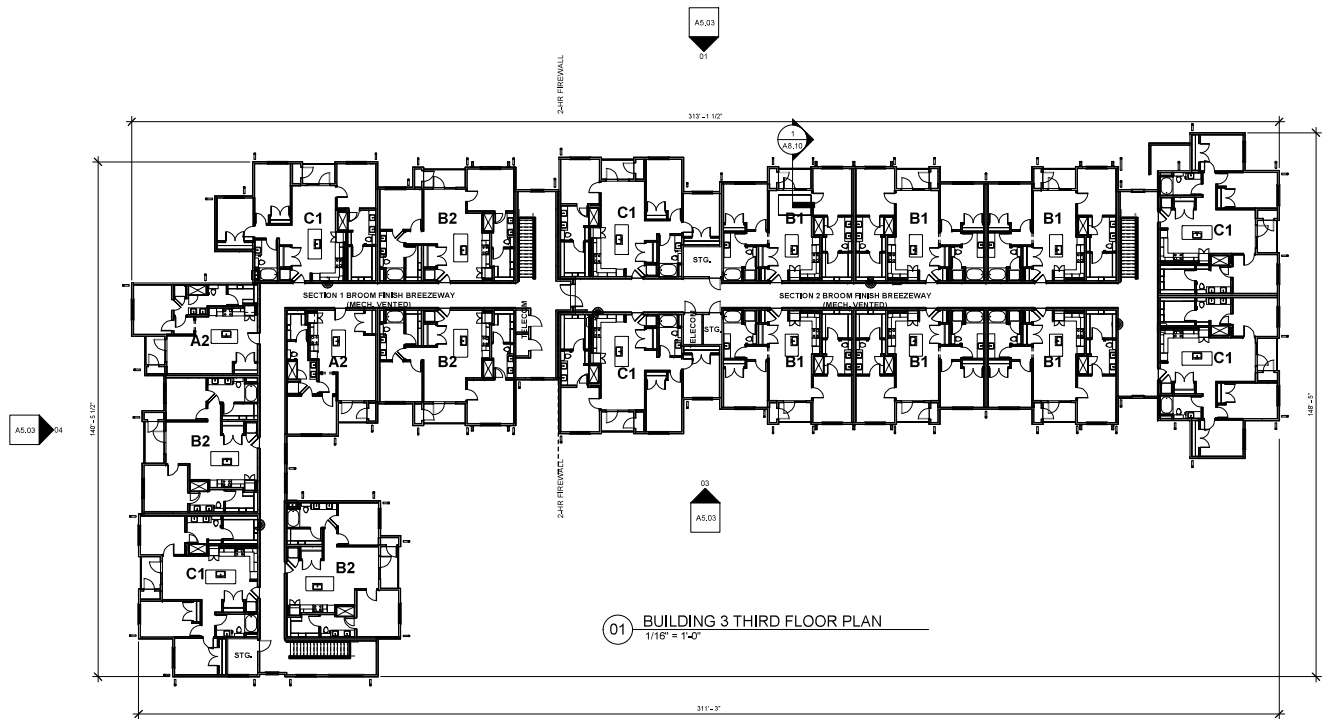
**SYMBOLS**



**SECTION TAGS**



05/10/2024 10:02 AM



**01 BUILDING 3 THIRD FLOOR PLAN**  
1/16" = 1'-0"

**BUILDING PLAN GENERAL NOTES**

1. DETAILS ON THIS SHEET ARE TYPICAL UNLESS NOTED OTHERWISE.
2. REFER TO SHEET A5.03 FOR FLASHING AND WATERPROOFING NOTES, DIMENSIONS AND DETAILS.
3. SOME TOLERANCES BETWEEN MATERIAL ARE SHOWN ENLARGED FOR CLARITY.
4. SLOPE ALL FINISHED SURFACES OF PARTIDES 1/4 INCH PER FOOT MAX TO DRAIN UNLESS OTHERWISE NOTED.
5. REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES AND DIMENSIONS.
6. ALL EXTERIOR INTERIOR BEARINGS, AND SEPERATION WALLS TO BE 1 HOUR RATED UNLESS OTHERWISE NOTED.
7. REFER TO CIVIL ENGINEERS DRAWINGS FOR SLAB ELEVATIONS.
8. REFER TO ELEVATIONS/MEP PLANS FOR EXTERIOR LIGHT LOCATIONS.
9. REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR SHEAR WALL LOCATIONS.
10. REFER TO MEP PLANS FOR WATER SUPPLY TO SPRINKLER CLOSE.
11. SEE SHEET G1.04 FOR EXACT BLOCKING HEIGHT AND LOCATION.
12. REFER TO G1.05 FOR ADA SINK HEIGHT GUIDELINES (SINK TYPE SPECIFIC).
13. ALL UNIT ENTRY DOORS TO HAVE A MINIMUM 18 INCH CLEARANCE ON THE FULL SIDE OF THE DOOR.
14. 18 INCH HOLD AT TOILET TO BE HELD FROM FINISH MATERIALS.
15. FIRE SPRINKLER PIPES CROSSING BREEZEWAYS TO BE INSULATED AS REQUIRED PER CODE.
16. FIRE SPRINKLER IN ATTIC TO BE TENTED AS REQUIRED PER FIRE MARSHAL CITY REQUIREMENTS.
17. DRYER EXHAUST VENTS TO BE LOCATED MINIMUM 36 INCHES AWAY FROM OPERABLE WINDOW OPENING.
18. FURR-DOWNS AT BATHROOM FOR "PANCAKE/CASSETTE" TYPE HVAC UNITS TO BE OF NON-COMBUSTIBLE CONSTRUCTION MATERIALS AS REQUIRED PER CODE OR BE UNIT TYPE THAT DOES NOT REQUIRE NON-COMBUSTIBLE CONSTRUCTION.
19. CASED OPENINGS TO BE TRIMMED OUT TO MATCH DOORS.
20. ELECTRICAL OUTLETS AT BATHROOMS IN ADA UNITS TO BE INSTALLED HORIZONTALLY IF REQUIRED FOR CLEARANCE AT MEDICINE CABINETS AS NEEDED.
21. BLOCKING TO BE PROVIDED ON WALLS/ CABINETS FOR MOUNTING OF CONCEALED BRACKETS FOR COUNTERTOP SUPPORT.

22. LIGHTING, PLUMBING, FIXTURES, APPLIANCES, AND MISCELLANEOUS HARDWARE ON PLANS FOR REFERENCE ONLY. REFER TO INTERIOR DESIGN SPECIFICATIONS AND OWNER APPROVED ITEMS PRIOR TO FINAL INSTALLATIONS.
23. ALL DOORS TO BE 6 FEET AT UNITS WITH A PLATE HEIGHT OF 18" FEET OR TALLER. REFER TO BUILDING PLAN, ELEVATIONS, AND SECTIONS FOR BUILDING PLATE HEIGHTS.
24. ALL WET WALLS TO BE 2 X 6 INCH FRAMED WALLS.
25. CORRIDOR FLOOR JOINTS TO BE LOCATED AT EACH OFFSET JOINT SHOULD RUN STRAIGHT ACROSS ENTIRE CORRIDOR WIDTH.
26. ALL GARAGE WALLS TO HAVE 6 INCH HIGH AND 6 INCH WIDE STEM WALL. REFER TO STRUCTURAL.
27. WHERE THE 2 HOUR FIREWALL INTERSECTS THE EXTERIOR FACE OF THE BUILDING AT AN ANGLE LESS THAN 180 DEGREES, 4 LINEAR FEET IN EITHER DIRECTION MUST MEET UL ASSEMBLY FOR A 1 HOUR WALL EXPOSED TO FIRE ON BOTH SIDES. OPENINGS WITHIN THE 4 FOOT MUST BE 40 MINUTES FIRE RATED.

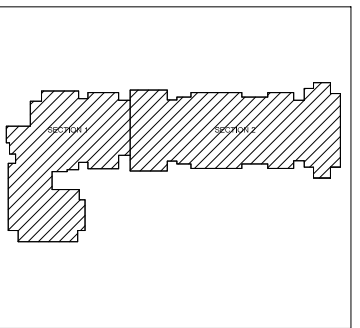
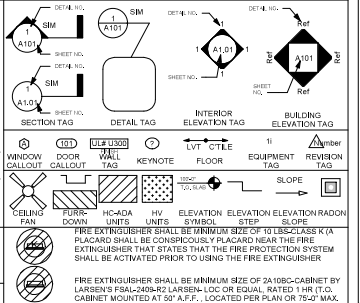
- DW = DISHWASHER  
 W = WASHER  
 D = DRIVER  
 WH = WATER HEATER  
 REF = REFRIGERATOR  
 WF = WOOD FLOOR  
 CT = CERAMIC TILE  
 LVP = LAMINATED VINYL PLANK  
 LVT = LAMINATED VINYL TILE  
 CTOP = COUNTERTOP  
 PAN = PANTRY  
 FSC = FIRE SPRINKLER CLOSET  
 LIN = LINEN  
 MR = MACHINE ROOM  
 JAN = JANITOR  
 TR = TRASH ROOM  
 POWD = POWDER ROOM  
 STOR = STORAGE

**WALL TYPES LEGENDS**

UL #1302	1HR-INTERIOR PARTITION WALL	LVP #8102	1HR-BREEZEWAY WALL/UNIT WALL
UL #1302	1HR-INTERIOR CORRIDOR WALL	UL #1356	1HR-EXTERIOR BRICK WALL
UL #1304	1HR-INTERIOR TENANT WALL	UL #1356	1HR-EXTERIOR HURD SIGN/PANEL WALL
UL #1301	1HR-INTERIOR WALL	UL #1356	1HR-EXTERIOR STONE VENEER WALL
UL #1301	2HR-STAR WALL	UL #1450	1HR-EXTERIOR STUCCO WALL
UL #1301	2HR-STAR WALL BREAK	UL #1421	1HR/2HR-INTERIOR METAL FRAMING WALL
LVP #3803	1HR-STAR/UNIT WALL	UL #1425	1HR/2HR-EXTERIOR METAL FRAMING WALL
UL #1302	2HR-STAR WALL	UL #1305	2HR-CMU BLOCK
UL #1302	2 HOUR FIREWALL (NOTE: 2 HOUR FIREWALL TO CONTINUE INTO ATTIC SPACE ABOVE PORCH. <b>DO NOT PENETRATE!</b> )		
UL #1523	1HR-FLOOR/CEILING	UL #1522	1HR-ROOF/CEILING
UL #1550	2HR-FLOOR/CEILING	UL #1551	2HR-FLOOR/CEILING
		FC #5456	1HR-FLOOR/CEILING

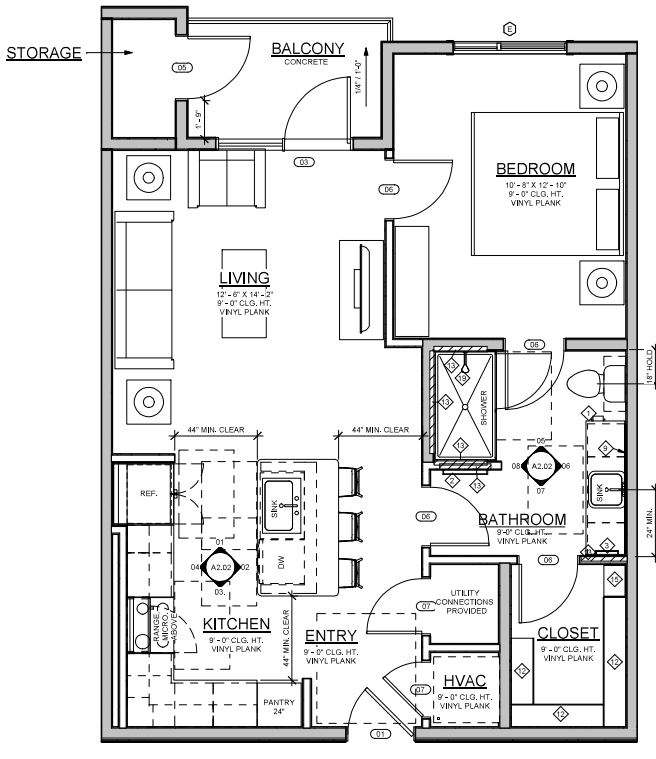
NOT ALL ULs LISTED WILL BE USED REFER TO DETAIL DRAWINGS FOR UL WALL DETAILS REFER TO ELEVATIONS FOR TYPE OF EXTERIOR FINISH MATERIALS

**SYMBOLS**



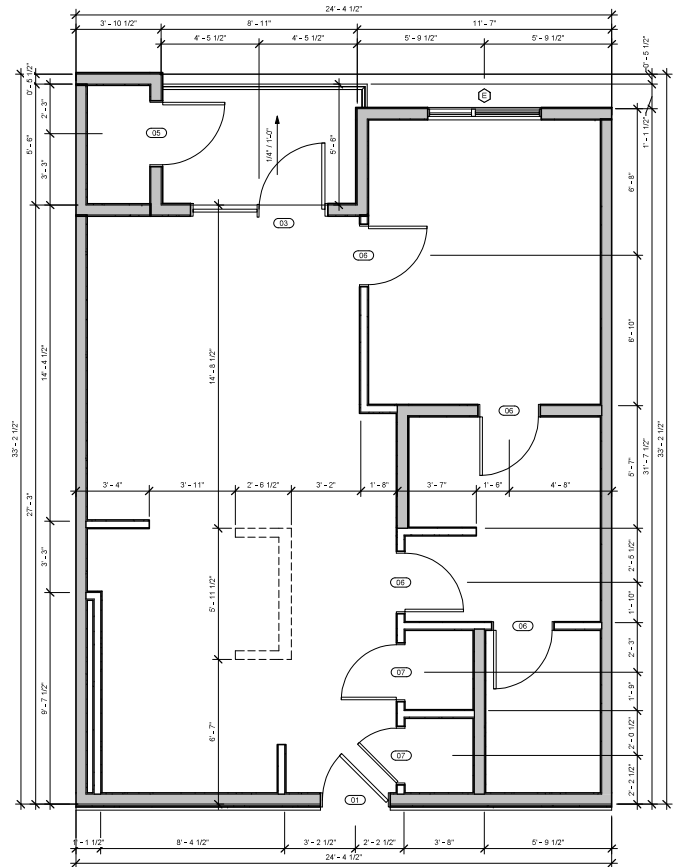
A1.33 BUILDING 3 THIRD FLOOR PLAN





01 UNIT A1 - FINISH FLOOR PLAN  
3/8" = 1'-0"

UNIT A1	716 SF
UNIT AT PATIO/BALCONY	73 SF
TOTAL UNIT SQUARE FOOTAGE:	788 SF



02 UNIT A1 - DIMENSION CONTROL PLAN  
3/8" = 1'-0"

**EQUIPMENT LEGEND AND NOTES**

- 1. TOILET PAPER HOLDER MOUNTED AT 15" MIN. A.F.F.
- 2. 24" TOWEL BAR - MOUNTED TOP AT 44" - 48" A.F.F.
- 3. 12" TOWEL BAR - MOUNTED TOP AT 44" - 48" A.F.F.
- 4. SHOWER CURTAIN ROD MOUNTED AT 74" A.F.F.
- 5. 24" CONCEALED MOUNTED GRAB BAR MOUNTED BETWEEN 31" - 38" MAX. A.F.F.
- 6. 42" CONCEALED MOUNTED GRAB BAR MOUNTED CENTER BETWEEN 33" - 36" MAX. A.F.F.
- 7. 316/16 TEMPERED GLASS MIRROR TYP. REF. TO I.D. FOR SPEC. MOUNT BOTTOM OF REFLECTING EDGE @ 38" A.F.F. - SEE BATHROOM INT. ELEV. VF.
- 8. FLUSH MOUNTED MEDICINE CABINET W/ BTM WOOD DOOR MOUNTED @ 40" A.F.F.
- 9. TYPICAL ROD AND SHELF MOUNTED AT 72" A.F.F. 1/8" A.F.F. AT A.D.A. UNITS) WITH WOOD OR WIRE SHELF.
- 10. TYPICAL 2 RODS AND SHELF MOUNTED @ 84" A.F.F. AND @ 42" WITH SHELF.
- 11. TYPICAL LOCATION OF BLOCKING FOR GRAB BARS SEE SHEET G104 FOR EXACT HEIGHT AND LOCATION.
- 12. PAINTED WOOD OR WIRE SHELVES @ 12" STARTING BOTTOM SHELF @ 36" A.F.F. AND TOP SHELF @ 74", REF. TO UNIT ELEVATIONS.
- 13. PAINTED WOOD OR WIRE SHELVES WITH 12" SPRING STARTING BOTTOM SHELF @ 140" A.F.F. AND TOP SHELF AT 74" A.F.F.
- 14. GLASS SHOWER DOOR MIN 30" MAX 74" W/ GLASS ENCLOSURE TYP. 74"
- 15. TYP. SHELF MOUNTED @ 66" ADA A.F.F. ABOVE WASHER REF. TO UNIT ELEVATIONS.
- 16. TYPICAL ROD AND SHELF LOCATED AT 48" & 54" MAX. A.F.F. TYP. (36" A.F.F. @ A.D.A. UNITS)
- 17. SHOWER HEAD TO BE MOUNTED AT 74" A.F.F. 6"± AT TYPICAL ADA UNITS. ADA UNITS TO BE EQUIPPED WITH ADJUSTABLE WAND.
- 18. TOWEL RING/HOOK - MOUNTED TOP AT 48" A.F.F.
- 19. TYPICAL 18" GRAB BAR MOUNTED VERTICALLY BOTTOM OF GRAB BAR TO BE MOUNTED 41" A.F.F.
- 20. SHAMPOO NICHE W/ BOTTOM OF LEDGE MOUNTED 6"-2" ABOVE TUB. 4"-6" ABOVE SHOWER PAN W/ ADDITIONAL WATERPROOFING @ WALL CORNERS & PENETRATIONS.
- 21. TWO GLASS SHELVES ABOVE KITCHEN SINK MOUNTED AT 57" & 68"
- 22. 18" TOWEL BAR - MOUNTED TOP AT 44"-48" A.F.F.
- 23. VERTICAL BLOCKING ADJACENT TO SHOWER
- 24. 32" CONCEALED MOUNTED GRAB BAR MOUNTED 33" - 36" MAX. 6" FROM ADJ. WALLS. TYP. ADA UNITS
- 25. WALL MOUNTED EXHAUST FAN, REF. MEP & ELEVATIONS FOR LOCATIONS. COORDINATE W/ PLUMBING & WALL CONDITIONS. SEE SHEET G104 FOR ADDITIONAL INFORMATION.

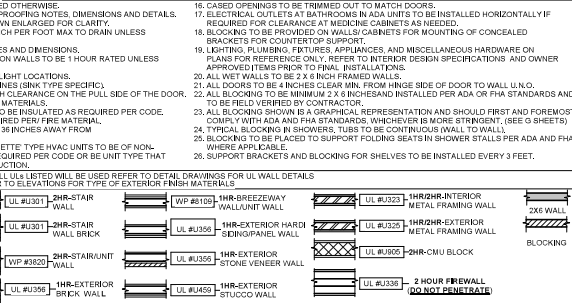
**UNIT PLAN GENERAL NOTE**

- 1. DETAILS ON THIS SHEET ARE TYPICAL UNLESS NOTED OTHERWISE.
- 2. REFER TO SHEET A206 FOR FLASHING AND WATERPROOFING NOTES, DIMENSIONS AND DETAILS.
- 3. SOME TOLERANCES BETWEEN MATERIALS ARE SHOWN ENLARGED FOR CLARITY.
- 4. SLOPE ALL FINISHED SURFACES OF PARTICES 1/4 INCH PER FOOT MAX TO DRAIN UNLESS OTHERWISE NOTED.
- 5. REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES AND DIMENSIONS.
- 6. ALL EXTERIOR INTERIOR BEARINGS, AND SEPARATION WALLS TO BE 1 HOUR RATED UNLESS OTHERWISE NOTED.
- 7. REFER TO ELEVATIONS/MEP PLANS FOR EXTERIOR LIGHT LOCATIONS.
- 8. REFER TO 26 SHEETS FOR ADA SINK HEIGHT GUIDELINES (SINK TYPE SPECIFIC).
- 9. ALL UNIT ENTRY DOORS TO HAVE A MINIMUM 18 INCH CLEARANCE ON THE PULL SIDE OF THE DOOR.
- 10. 6 INCH HOLD AT TOILET TO BE HELD FROM FINISH MATERIALS.
- 11. FIRE SPRINKLER PIPES CROSSING BREEZEWAYS TO BE INSULATED AS REQUIRED PER CODE.
- 12. FIRE SPRINKLER IN ATTIC TO BE INSTALLED AS REQUIRED PER FIRE MATERIALS.
- 13. DRYER EXHAUST VENTS TO BE LOCATED MINIMUM 36 INCHES AWAY FROM PERMEABLE WINDOW OPENINGS.
- 14. FURF-DOWNS AT BATHROOM FOR PANCAKE/CASSETTE TYPE HVAC UNITS TO BE OF NON-COMBUSTIBLE CONSTRUCTION MATERIALS AS REQUIRED PER CODE OR BE UNIT TYPE THAT DOES NOT REQUIRE NON-COMBUSTIBLE CONSTRUCTION.
- 15. FURF-DOWNS AT BATHROOM FOR PANCAKE/CASSETTE TYPE HVAC UNITS TO BE OF NON-COMBUSTIBLE CONSTRUCTION MATERIALS AS REQUIRED PER CODE OR BE UNIT TYPE THAT DOES NOT REQUIRE NON-COMBUSTIBLE CONSTRUCTION.
- 16. CASSED OPENINGS TO BE TRIMMED OUT TO MATCH DOORS.
- 17. ELECTRICAL OUTLETS AT BATHROOMS IN ADA UNITS TO BE INSTALLED HORIZONTALLY IF REQUIRED FOR CLEARANCE AT MEDICINE CABINETS AS NEEDED.
- 18. BLOCKING TO BE PROVIDED ON WALLS/CABINETS FOR MOUNTING OF CONCEALED BRACKETS FOR COUNTERTOP SUPPORT.
- 19. LIGHTING, PLUMBING, FIXTURES, APPLIANCES, AND MISCELLANEOUS HARDWARE ON PLANS FOR REFERENCE ONLY. REFER TO INTERIOR DESIGN SPECIFICATIONS AND OWNER APPROVED ITEMS PRIOR TO FINAL INSTALLATIONS.
- 20. ALL WET WALLS TO BE 2 X 8 INCH FRAMED WALLS.
- 21. ALL DOORS TO BE 4 INCHES CLEAR MIN. FROM HINGE SIDE OF DOOR OR FHA STANDARDS AND TO BE FIELD VERIFIED BY CONTRACTOR.
- 22. ALL BLOCKING TO BE MINIMUM 2 X 8 INCHES AND INSTALLED PER ADA OR FHA STANDARDS AND TO BE FIELD VERIFIED BY CONTRACTOR.
- 23. ALL BLOCKING SHOWN IS A GRAPHICAL REPRESENTATION AND SHOULD FIRST AND FOREMOST CORRELATE WITH ADA AND FHA STANDARDS, WHICHEVER IS MORE STRINGENT. (SEE 9 SHEETS)
- 24. TYPICAL BLOCKING IN SHOWERS, TUBS TO BE CONTINUOUS (WALL TO WALL) WHERE APPLICABLE.
- 25. BLOCKING TO BE PLACED TO SUPPORT FOLDING SEATS IN SHOWER STALLS PER ADA AND FHA STANDARDS.
- 26. SUPPORT BRACKETS AND BLOCKING FOR SHELVES TO BE INSTALLED EVERY 3 FEET.

**WALL TYPES LEGENDS**

[UL #J000] 1HR-INTERIOR PARTITION WALL	[UL #J301] 2HR-STAIR WALL	[UL #J323] 1HR/2HR-INTERIOR METAL FRAMING WALL
[UL #J001] 1HR-INTERIOR CORRIDOR WALL	[UL #J302] 2HR-STAIR WALL BREAK	[UL #J324] 1HR/2HR-EXTERIOR METAL FRAMING WALL
[UL #J041] 1HR-INTERIOR TENANT WALL	[W/P #3020] 2HR-STAIR/RAINT WALL	[UL #J352] 1HR-EXTERIOR STONE/VENEER WALL
[UL #J011] 1HR-INTERIOR WALL	[UL #J356] 1HR-EXTERIOR BRICK WALL	[UL #J450] 1HR-EXTERIOR STUCCO WALL
[W/P #B100] 1HR-BREEZEWAY WALL/UNIT WALL	[UL #J325] 1HR/2HR-INTERIOR METAL FRAMING WALL	[UL #J326] 1HR/2HR-EXTERIOR METAL FRAMING WALL
[UL #J350] 1HR-EXTERIOR HARD 2" CONG/PANEL WALL	[UL #J360] 2HR-CMU BLOCK	[UL #J380] 2 HOUR FIRE WALL (DO NOT PENETRATE)

**SYMBOLS**



**NOTES**

- NOT ALL U/L LISTED WILL BE USED REFER TO DETAIL DRAWINGS FOR U/W WALL DETAILS REFER TO ELEVATIONS FOR TYPE OF EXTERIOR FINISH MATERIALS.
- DW = DISHWASHER
- W = WASHER
- WH = WATER HEATER
- REF = REFRIGERATOR
- WD = WOOD FLOOR
- C.TILE = CERAMIC TILE
- LVP = LAMINATED VINYL PLANK
- LVT = LAMINATED VINYL TILE
- CTOP = COUNTERTOP
- PAH = PANTRY
- FSC = FIRE SPRINKLER CLOSET
- LN = LINEN
- MIR = MACHINE ROOM
- JAN = JANITOR
- TR = TRASH ROOM
- POWR = POWDER ROOM
- STOR = STORAGE

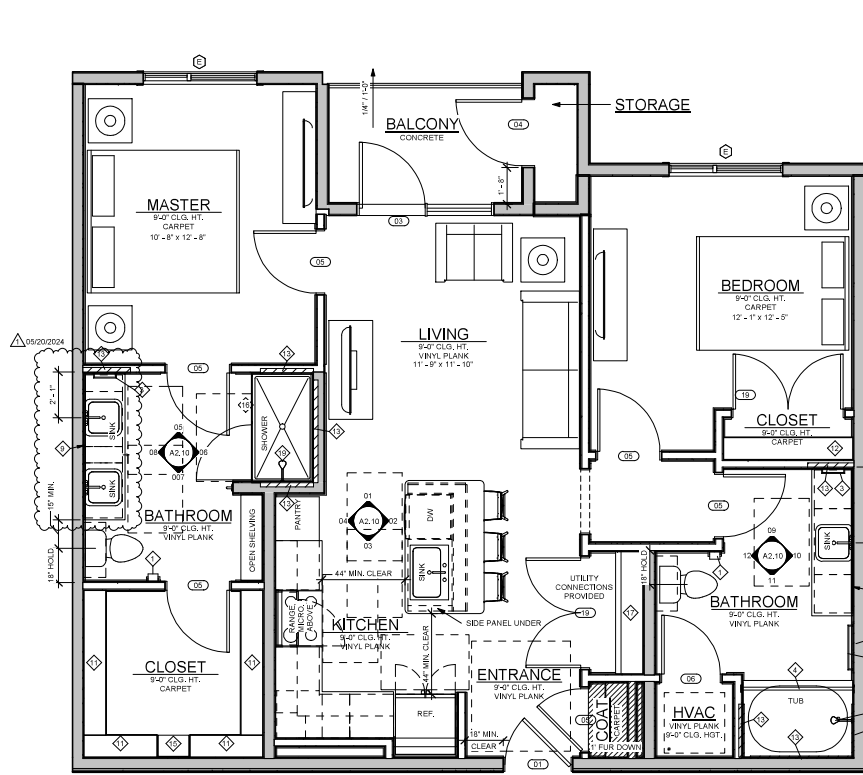
**HEIGHTS AT CROWLEY ROAD**  
Fort Worth, TX

ARRIVE! ARCHITECTURE GROUP  
Architecture Planning Project Management  
2344 Highway 121 - Suite 100 - Bedford, Texas 76021 - www.arriveag.com  
PH: 817.514.0584 - FX: 817.514.0594



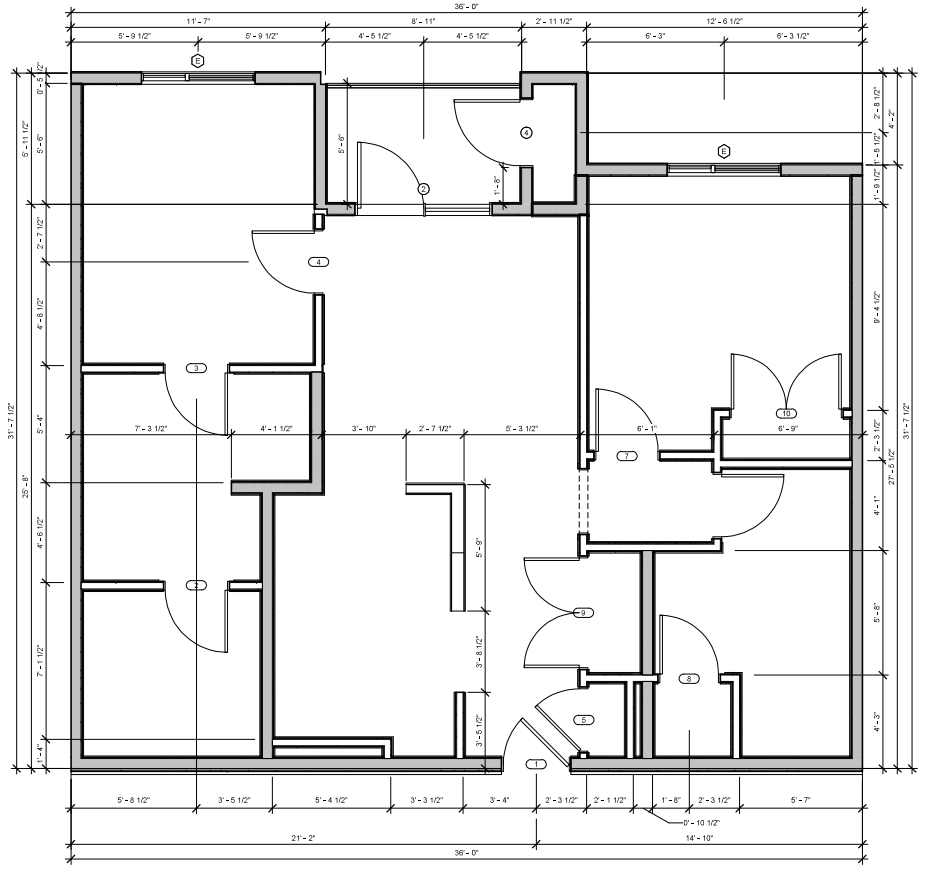
DATE: 06/10/2024	SHEET NO. 1
PROJECT: A2.01	AS INDICATED





**01 UNIT B1 FINISH FLOOR PLAN**  
3/8" = 1'-0"

UNIT B1	1016 SF	GROSS
UNIT B1 PATIO/BALCONY	16 SF	GROSS
TOTAL GROSS SQUARE FOOTAGE OF UNIT:	1032 SF	



**02 UNIT B-1 DIMENSION CONTROL PLAN**  
3/8" = 1'-0"

**EQUIPMENT LEGEND AND NOTES**

- TOILET PAPER HOLDER MOUNTED AT 15" MIN. A.F.F.
- 24" TOWEL BAR - MOUNTED TOP AT 44" - 48" A.F.F.
- 12" TOWEL BAR - MOUNTED TOP AT 44" - 48" A.F.F.
- SHOWER CURTAIN ROD MOUNTED AT 74" A.F.F.
- 24" CONCEALED MOUNTED GRAB BAR MOUNTED BETWEEN 33" - 38" MAX. A.F.F.
- 42" CONCEALED MOUNTED GRAB BAR MOUNTED CENTER BETWEEN 33" - 38" MAX. A.F.F.
- 316L TEMPERED GLASS MIRROR TYP. REF. TO L.D. FOR SPEC. MOUNT BOTTOM OF REFLECTING EDGE @ 38" A.F.F. SEE BATHROOM INT. ELEV. VIF.
- TYPICAL MOUNTED MEDICINE CABINET W/ BTM WOOD DOOR MOUNTED @ 40" A.F.F.
- TYPICAL 18" GRAB BAR MOUNTED VERTICALLY BOTTOM OF GRAB BAR TO BE MOUNTED 41" A.F.F.
- SHAMPOO NICHE W/ BOTTOM OF LEDGE MOUNTED 8'-2" ABOVE TUB, 4'-0" ABOVE SHOWER PAN W/ ADDITIONAL WATERPROOFING @ WALL CORNER & PENETRATIONS.
- TWO GLASS SHELVES ABOVE KITCHEN SINK MOUNTED AT 57" & 68"
- 18" TOWEL BAR - MOUNTED TOP AT 44"-48" A.F.F.
- VERTICAL BLOCKING ADJACENT TO SHOWER
- 32" CONCEALED MOUNTED GRAB BAR MOUNTED 33" - 38" MAX. 6" FROM ADJ. WALLS. TYP. ADA UNITS
- WALL MOUNTED EXHAUST FAN, REF. MEP & ELEVATIONS FOR LOCATIONS. COORDINATE W/ PLUMBING & WALL CONDITIONS. SEE SHEET G104 FOR ADDITIONAL INFORMATION.
- NOTE: SHOWER HEAD TO BE MOUNTED AT 74" A.F.F. 6'-2" AT TYPICAL ADA UNITS. ADA UNITS TO BE EQUIPPED WITH ADJUSTABLE WAND.

**UNIT PLAN GENERAL NOTE**

- DETAILS ON THIS SHEET ARE TYPICAL UNLESS NOTED OTHERWISE.
- REFER TO SHEET A206 FOR FLASHING AND WATERPROOFING NOTES, DIMENSIONS AND DETAILS.
- SOME TOLERANCES BETWEEN MATERIALS ARE SHOWN ENLARGED FOR CLARITY.
- SLOPE ALL FINISHED SURFACES OF PARTITIONS 1/4 INCH PER FOOT MAX TO DRAIN UNLESS OTHERWISE NOTED.
- REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES AND DIMENSIONS.
- OTHERWISE NOTED.
- REFER TO ELEVATIONS/MEP PLANS FOR EXTERIOR LIGHT LOCATIONS.
- REFER TO 2 SHEETS FOR ADA SINK HEIGHT GUIDELINES (SINK TYPE SPECIFIC).
- ALL UNIT ENTRY DOORS TO HAVE A MINIMUM 18 INCH CLEARANCE ON THE PULL SIDE OF THE DOOR.
10. 18 INCH HOLD AT TOILET TO BE HELD FROM FINISH MATERIALS.
- FIRE SPRINKLER PIPES CROSSING BREZZEWAYS TO BE INSULATED AS REQUIRED PER CODE.
- DRYER EXHAUST VENTS TO BE LOCATED MINIMUM 36 INCHES AWAY FROM PERMEABLE WINDOW OPENINGS.
- FUR-DOWNS AT BATHROOM FOR PANCAKE/CASSETTE TYPE HVAC UNITS TO BE OF NON-COMBUSTIBLE CONSTRUCTION MATERIALS AS REQUIRED PER CODE OR BY UNIT TYPE THAT DOES NOT REQUIRE NON-COMBUSTIBLE CONSTRUCTION.
- CASED OPENINGS TO BE TRIMMED OUT TO MATCH DOORS.
- ELECTRICAL OUTLETS AT BATHROOMS IN ADA UNITS TO BE INSTALLED HORIZONTALLY IF REQUIRED FOR CLEARANCE AT MEDICINE CABINETS AS NEEDED.
- BLOCKING TO BE PROVIDED ON WALLS/CABINETS FOR MOUNTING OF CONCEALED BRACKETS FOR COUNTERTOP SUPPORT.
- LIGHTING, PLUMBING, FIXTURES, APPLIANCES, AND MISCELLANEOUS HARDWARE ON PLANS FOR REFERENCE ONLY. REFER TO INTERIOR DESIGN SPECIFICATIONS AND OWNER APPROVED ITEMS PRIOR TO FINAL INSTALLATIONS.
- ALL WET WALLS TO BE 2 X 8 INCH FRAMED WALLS.
- ALL DOORS TO BE 4 INCHES CLEAR MIN. FROM HINGE SIDE OF DOOR TO WALL U.N.C.
- BLOCKING TO BE MINIMUM 2 X 8 INCHES AND INSTALLED PER ADA OR FHA STANDARDS AND TO BE FIELD VERIFIED BY CONTRACTOR.
- ALL BLOCKING SHOWN IS A GRAPHICAL REPRESENTATION AND SHOULD FIRST AND FOREMOST CORRELATE WITH ADA AND FHA STANDARDS. WHENEVER IN MORE STRINGENT, (SEE 0 SHEETS).
- TYPICAL BLOCKING IN SHOWERS, TUBS TO BE CONTINUOUS (WALL TO WALL).
- BLOCKING TO BE PLACED TO SUPPORT FOLDING SEATS IN SHOWER STALLS PER ADA AND FHA WHERE APPLICABLE.
- SUPPORT BRACKETS AND BLOCKING FOR BRACKETS TO BE INSTALLED EVERY 3 FEET.

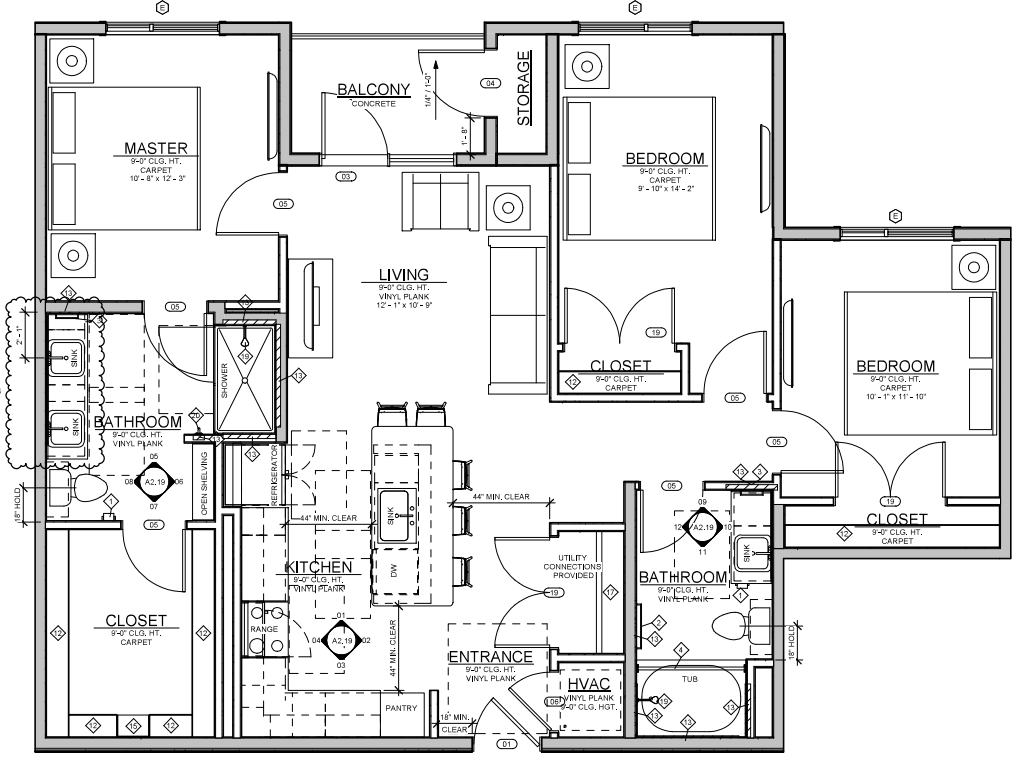
**WALL TYPES LEGENDS**

[UL #J000] 1HR-INTERIOR PARTITION WALL	[UL #J001] 1HR-INTERIOR CORRIDOR WALL	[UL #J002] 1HR-INTERIOR TENANT WALL	[UL #J003] 1HR-INTERIOR PARTITION WALL	[UL #J004] 1HR-INTERIOR CORRIDOR WALL	[UL #J005] 1HR-INTERIOR TENANT WALL	[UL #J006] 1HR-INTERIOR PARTITION WALL	[UL #J007] 1HR-INTERIOR CORRIDOR WALL	[UL #J008] 1HR-INTERIOR TENANT WALL	[UL #J009] 1HR-INTERIOR PARTITION WALL	[UL #J010] 1HR-INTERIOR CORRIDOR WALL	[UL #J011] 1HR-INTERIOR TENANT WALL	[UL #J012] 1HR-INTERIOR PARTITION WALL	[UL #J013] 1HR-INTERIOR CORRIDOR WALL	[UL #J014] 1HR-INTERIOR TENANT WALL	[UL #J015] 1HR-INTERIOR PARTITION WALL	[UL #J016] 1HR-INTERIOR CORRIDOR WALL	[UL #J017] 1HR-INTERIOR TENANT WALL	[UL #J018] 1HR-INTERIOR PARTITION WALL	[UL #J019] 1HR-INTERIOR CORRIDOR WALL	[UL #J020] 1HR-INTERIOR TENANT WALL	[UL #J021] 1HR-INTERIOR PARTITION WALL	[UL #J022] 1HR-INTERIOR CORRIDOR WALL	[UL #J023] 1HR-INTERIOR TENANT WALL	[UL #J024] 1HR-INTERIOR PARTITION WALL	[UL #J025] 1HR-INTERIOR CORRIDOR WALL	[UL #J026] 1HR-INTERIOR TENANT WALL	[UL #J027] 1HR-INTERIOR PARTITION WALL	[UL #J028] 1HR-INTERIOR CORRIDOR WALL	[UL #J029] 1HR-INTERIOR TENANT WALL	[UL #J030] 1HR-INTERIOR PARTITION WALL	[UL #J031] 1HR-INTERIOR CORRIDOR WALL	[UL #J032] 1HR-INTERIOR TENANT WALL	[UL #J033] 1HR-INTERIOR PARTITION WALL	[UL #J034] 1HR-INTERIOR CORRIDOR WALL	[UL #J035] 1HR-INTERIOR TENANT WALL	[UL #J036] 1HR-INTERIOR PARTITION WALL	[UL #J037] 1HR-INTERIOR CORRIDOR WALL	[UL #J038] 1HR-INTERIOR TENANT WALL	[UL #J039] 1HR-INTERIOR PARTITION WALL	[UL #J040] 1HR-INTERIOR CORRIDOR WALL	[UL #J041] 1HR-INTERIOR TENANT WALL	[UL #J042] 1HR-INTERIOR PARTITION WALL	[UL #J043] 1HR-INTERIOR CORRIDOR WALL	[UL #J044] 1HR-INTERIOR TENANT WALL	[UL #J045] 1HR-INTERIOR PARTITION WALL	[UL #J046] 1HR-INTERIOR CORRIDOR WALL	[UL #J047] 1HR-INTERIOR TENANT WALL	[UL #J048] 1HR-INTERIOR PARTITION WALL	[UL #J049] 1HR-INTERIOR CORRIDOR WALL	[UL #J050] 1HR-INTERIOR TENANT WALL	[UL #J051] 1HR-INTERIOR PARTITION WALL	[UL #J052] 1HR-INTERIOR CORRIDOR WALL	[UL #J053] 1HR-INTERIOR TENANT WALL	[UL #J054] 1HR-INTERIOR PARTITION WALL	[UL #J055] 1HR-INTERIOR CORRIDOR WALL	[UL #J056] 1HR-INTERIOR TENANT WALL	[UL #J057] 1HR-INTERIOR PARTITION WALL	[UL #J058] 1HR-INTERIOR CORRIDOR WALL	[UL #J059] 1HR-INTERIOR TENANT WALL	[UL #J060] 1HR-INTERIOR PARTITION WALL	[UL #J061] 1HR-INTERIOR CORRIDOR WALL	[UL #J062] 1HR-INTERIOR TENANT WALL	[UL #J063] 1HR-INTERIOR PARTITION WALL	[UL #J064] 1HR-INTERIOR CORRIDOR WALL	[UL #J065] 1HR-INTERIOR TENANT WALL	[UL #J066] 1HR-INTERIOR PARTITION WALL	[UL #J067] 1HR-INTERIOR CORRIDOR WALL	[UL #J068] 1HR-INTERIOR TENANT WALL	[UL #J069] 1HR-INTERIOR PARTITION WALL	[UL #J070] 1HR-INTERIOR CORRIDOR WALL	[UL #J071] 1HR-INTERIOR TENANT WALL	[UL #J072] 1HR-INTERIOR PARTITION WALL	[UL #J073] 1HR-INTERIOR CORRIDOR WALL	[UL #J074] 1HR-INTERIOR TENANT WALL	[UL #J075] 1HR-INTERIOR PARTITION WALL	[UL #J076] 1HR-INTERIOR CORRIDOR WALL	[UL #J077] 1HR-INTERIOR TENANT WALL	[UL #J078] 1HR-INTERIOR PARTITION WALL	[UL #J079] 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WALL	[UL #J106] 1HR-INTERIOR CORRIDOR WALL	[UL #J107] 1HR-INTERIOR TENANT WALL	[UL #J108] 1HR-INTERIOR PARTITION WALL	[UL #J109] 1HR-INTERIOR CORRIDOR WALL	[UL #J110] 1HR-INTERIOR TENANT WALL	[UL #J111] 1HR-INTERIOR PARTITION WALL	[UL #J112] 1HR-INTERIOR CORRIDOR WALL	[UL #J113] 1HR-INTERIOR TENANT WALL	[UL #J114] 1HR-INTERIOR PARTITION WALL	[UL #J115] 1HR-INTERIOR CORRIDOR WALL	[UL #J116] 1HR-INTERIOR TENANT WALL	[UL #J117] 1HR-INTERIOR PARTITION WALL	[UL #J118] 1HR-INTERIOR CORRIDOR WALL	[UL #J119] 1HR-INTERIOR TENANT WALL	[UL #J120] 1HR-INTERIOR PARTITION WALL	[UL #J121] 1HR-INTERIOR CORRIDOR WALL	[UL #J122] 1HR-INTERIOR TENANT WALL	[UL #J123] 1HR-INTERIOR PARTITION WALL	[UL #J124] 1HR-INTERIOR CORRIDOR WALL	[UL #J125] 1HR-INTERIOR TENANT WALL	[UL #J126] 1HR-INTERIOR PARTITION WALL	[UL #J127] 1HR-INTERIOR CORRIDOR WALL	[UL #J128] 1HR-INTERIOR TENANT WALL	[UL #J129] 1HR-INTERIOR PARTITION WALL	[UL #J130] 1HR-INTERIOR CORRIDOR WALL	[UL #J131] 1HR-INTERIOR TENANT WALL	[UL #J132] 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WALL	[UL #J159] 1HR-INTERIOR PARTITION WALL	[UL #J160] 1HR-INTERIOR CORRIDOR WALL	[UL #J161] 1HR-INTERIOR TENANT WALL	[UL #J162] 1HR-INTERIOR PARTITION WALL	[UL #J163] 1HR-INTERIOR CORRIDOR WALL	[UL #J164] 1HR-INTERIOR TENANT WALL	[UL #J165] 1HR-INTERIOR PARTITION WALL	[UL #J166] 1HR-INTERIOR CORRIDOR WALL	[UL #J167] 1HR-INTERIOR TENANT WALL	[UL #J168] 1HR-INTERIOR PARTITION WALL	[UL #J169] 1HR-INTERIOR CORRIDOR WALL	[UL #J170] 1HR-INTERIOR TENANT WALL	[UL #J171] 1HR-INTERIOR PARTITION WALL	[UL #J172] 1HR-INTERIOR CORRIDOR WALL	[UL #J173] 1HR-INTERIOR TENANT WALL	[UL #J174] 1HR-INTERIOR PARTITION WALL	[UL #J175] 1HR-INTERIOR CORRIDOR WALL	[UL #J176] 1HR-INTERIOR TENANT WALL	[UL #J177] 1HR-INTERIOR PARTITION WALL	[UL #J178] 1HR-INTERIOR CORRIDOR WALL	[UL #J179] 1HR-INTERIOR TENANT WALL	[UL #J180] 1HR-INTERIOR PARTITION WALL	[UL #J181] 1HR-INTERIOR CORRIDOR WALL	[UL #J182] 1HR-INTERIOR TENANT WALL	[UL #J183] 1HR-INTERIOR PARTITION WALL	[UL #J184] 1HR-INTERIOR CORRIDOR WALL	[UL #J185] 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WALL	[UL #J212] 1HR-INTERIOR TENANT WALL	[UL #J213] 1HR-INTERIOR PARTITION WALL	[UL #J214] 1HR-INTERIOR CORRIDOR WALL	[UL #J215] 1HR-INTERIOR TENANT WALL	[UL #J216] 1HR-INTERIOR PARTITION WALL	[UL #J217] 1HR-INTERIOR CORRIDOR WALL	[UL #J218] 1HR-INTERIOR TENANT WALL	[UL #J219] 1HR-INTERIOR PARTITION WALL	[UL #J220] 1HR-INTERIOR CORRIDOR WALL	[UL #J221] 1HR-INTERIOR TENANT WALL	[UL #J222] 1HR-INTERIOR PARTITION WALL	[UL #J223] 1HR-INTERIOR CORRIDOR WALL	[UL #J224] 1HR-INTERIOR TENANT WALL	[UL #J225] 1HR-INTERIOR PARTITION WALL	[UL #J226] 1HR-INTERIOR CORRIDOR WALL	[UL #J227] 1HR-INTERIOR TENANT WALL	[UL #J228] 1HR-INTERIOR PARTITION WALL	[UL #J229] 1HR-INTERIOR CORRIDOR WALL	[UL #J230] 1HR-INTERIOR TENANT WALL	[UL #J231] 1HR-INTERIOR PARTITION WALL	[UL #J232] 1HR-INTERIOR CORRIDOR WALL	[UL #J233] 1HR-INTERIOR TENANT WALL	[UL #J234] 1HR-INTERIOR PARTITION WALL	[UL #J235] 1HR-INTERIOR CORRIDOR WALL	[UL #J236] 1HR-INTERIOR TENANT WALL	[UL #J237] 1HR-INTERIOR PARTITION WALL	[UL #J238] 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WALL	[UL #J318] 1HR-INTERIOR PARTITION WALL	[UL #J319] 1HR-INTERIOR CORRIDOR WALL	[UL #J320] 1HR-INTERIOR TENANT WALL	[UL #J321] 1HR-INTERIOR PARTITION WALL	[UL #J322] 1HR-INTERIOR CORRIDOR WALL	[UL #J323] 1HR-INTERIOR TENANT WALL	[UL #J324] 1HR-INTERIOR PARTITION WALL	[UL #J325] 1HR-INTERIOR CORRIDOR WALL	[UL #J326] 1HR-INTERIOR TENANT WALL	[UL #J327] 1HR-INTERIOR PARTITION WALL	[UL #J328] 1HR-INTERIOR CORRIDOR WALL	[UL #J329] 1HR-INTERIOR TENANT WALL	[UL #J330] 1HR-INTERIOR PARTITION WALL	[UL #J331] 1HR-INTERIOR CORRIDOR WALL	[UL #J332] 1HR-INTERIOR TENANT WALL	[UL #J333] 1HR-INTERIOR PARTITION WALL	[UL #J334] 1HR-INTERIOR CORRIDOR WALL	[UL #J335] 1HR-INTERIOR TENANT WALL	[UL #J336] 1HR-INTERIOR PARTITION WALL	[UL #J337] 1HR-INTERIOR CORRIDOR WALL	[UL #J338] 1HR-INTERIOR TENANT WALL	[UL #J339] 1HR-INTERIOR PARTITION WALL	[UL #J340] 1HR-INTERIOR CORRIDOR WALL	[UL #J341] 1HR-INTERIOR TENANT WALL	[UL #J342] 1HR-INTERIOR PARTITION WALL	[UL #J343] 1HR-INTERIOR CORRIDOR WALL	[UL #J344] 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WALL	[UL #J371] 1HR-INTERIOR TENANT WALL	[UL #J372] 1HR-INTERIOR PARTITION WALL	[UL #J373] 1HR-INTERIOR CORRIDOR WALL	[UL #J374] 1HR-INTERIOR TENANT WALL	[UL #J375] 1HR-INTERIOR PARTITION WALL	[UL #J376] 1HR-INTERIOR CORRIDOR WALL	[UL #J377] 1HR-INTERIOR TENANT WALL	[UL #J378] 1HR-INTERIOR PARTITION WALL	[UL #J379] 1HR-INTERIOR CORRIDOR WALL	[UL #J380] 1HR-INTERIOR TENANT WALL	[UL #J381] 1HR-INTERIOR PARTITION WALL	[UL #J382] 1HR-INTERIOR CORRIDOR WALL	[UL #J383] 1HR-INTERIOR TENANT WALL	[UL #J384] 1HR-INTERIOR PARTITION WALL	[UL #J385] 1HR-INTERIOR CORRIDOR WALL	[UL #J386] 1HR-INTERIOR TENANT WALL	[UL #J387] 1HR-INTERIOR PARTITION WALL	[UL #J388] 1HR-INTERIOR CORRIDOR WALL	[UL #J389] 1HR-INTERIOR TENANT WALL	[UL #J390] 1HR-INTERIOR PARTITION WALL	[UL #J391] 1HR-INTERIOR CORRIDOR WALL	[UL #J392] 1HR-INTERIOR TENANT WALL	[UL #J393] 1HR-INTERIOR PARTITION WALL	[UL #J394] 1HR-INTERIOR CORRIDOR WALL	[UL #J395] 1HR-INTERIOR TENANT WALL	[UL #J396] 1HR-INTERIOR PARTITION WALL	[UL #J397] 1HR-INTERIOR CORRIDOR WALL	[UL #J398] 1HR-INTERIOR TENANT WALL	[UL #J399] 1HR-INTERIOR PARTITION WALL	[UL #J400] 1HR-INTERIOR CORRIDOR WALL	[UL #J401] 1HR-INTERIOR TENANT WALL	[UL #J402] 1HR-INTERIOR PARTITION WALL	[UL #J403] 1HR-INTERIOR CORRIDOR WALL	[UL #J404] 1HR-INTERIOR TENANT WALL	[UL #J405] 1HR-INTERIOR PARTITION WALL	[UL #J406] 1HR-INTERIOR CORRIDOR WALL	[UL #J407] 1HR-INTERIOR TENANT WALL	[UL #J408] 1HR-INTERIOR PARTITION WALL	[UL #J409] 1HR-INTERIOR CORRIDOR WALL	[UL #J410] 1HR-INTERIOR TENANT WALL	[UL #J411] 1HR-INTERIOR PARTITION WALL	[UL #J412] 1HR-INTERIOR CORRIDOR WALL	[UL #J413] 1HR-INTERIOR TENANT WALL	[UL #J414] 1HR-INTERIOR PARTITION WALL	[UL #J415] 1HR-INTERIOR CORRIDOR WALL	[UL #J416] 1HR-INTERIOR TENANT WALL	[UL #J417] 1HR-INTERIOR PARTITION WALL	[UL #J418] 1HR-INTERIOR CORRIDOR WALL	[UL #J419] 1HR-INTERIOR TENANT WALL	[UL #J420] 1HR-INTERIOR PARTITION WALL	[UL #J421] 1HR-INTERIOR CORRIDOR WALL	[UL #J422] 1HR-INTERIOR TENANT WALL	[UL #J423] 1HR-INTERIOR PARTITION WALL	[UL #J424] 1HR-INTERIOR CORRIDOR WALL	[UL #J425] 1HR-INTERIOR TENANT WALL	[UL #J426] 1HR-INTERIOR PARTITION WALL	[UL #J427] 1HR-INTERIOR CORRIDOR WALL	[UL #J428] 1HR-INTERIOR TENANT WALL	[UL #J429] 1HR-INTERIOR PARTITION WALL	[UL #J430] 1HR-INTERIOR CORRIDOR WALL	[UL #J431] 1HR-INTERIOR TENANT WALL	[UL #J432] 1HR-INTERIOR PARTITION WALL	[UL #J433] 1HR-INTERIOR CORRIDOR WALL	[UL #J434] 1HR-INTERIOR TENANT WALL	[UL #J435] 1HR-INTERIOR PARTITION WALL	[UL #J436] 1HR-INTERIOR CORRIDOR WALL	[UL #J437] 1HR-INTERIOR TENANT WALL	[UL #J438] 1HR-INTERIOR PARTITION WALL	[UL #J439] 1HR-INTERIOR CORRIDOR WALL	[UL #J440] 1HR-INTERIOR TENANT WALL	[UL #J441] 1HR-INTERIOR PARTITION WALL	[UL #J442] 1HR-INTERIOR CORRIDOR WALL	[UL #J443] 1HR-INTERIOR TENANT WALL	[UL #J444] 1HR-INTERIOR PARTITION WALL	[UL #J445] 1HR-INTERIOR CORRIDOR WALL	[UL #J446] 1HR-INTERIOR TENANT WALL	[UL #J447] 1HR-INTERIOR PARTITION WALL	[UL #J448] 1HR-INTERIOR CORRIDOR WALL	[UL #J449] 1HR-INTERIOR TENANT WALL	[UL #
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DATE: 06/10/2024	SHEET NO. A2.17
DATE: 06/10/2024	SHEET NO. A2.17
DATE: 06/10/2024	SHEET NO. A2.17
DATE: 06/10/2024	SHEET NO. A2.17



**01 UNIT C1 - FINISH FLOOR PLAN**  
3/8" = 1'-0"

UNIT C1	1207 SF	GROSS
UNIT C1 RATES/BALCONY	66 SF	GROSS
TOTAL UNIT SQUARE FOOTAGE:	1273 SF	

**EQUIPMENT LEGEND AND NOTES**

- 1. TOILET PAPER HOLDER MOUNTED AT 15" MIN. A.F.F.
- 2. TOWEL BAR - MOUNTED TOP AT 41" - 48" A.F.F.
- 3. TOWEL BAR - MOUNTED TOP AT 44" - 48" A.F.F.
- 4. SHOWER CURTAIN ROD MOUNTED AT 74" A.F.F.
- 5. CONCEALED MOUNTED GRAB BAR MOUNTED BETWEEN 31" - 38" MAX. A.F.F.
- 6. CONCEALED MOUNTED GRAB BAR MOUNTED CENTER BETWEEN 33" - 36" MAX. A.F.F.
- 7. CONCEALED MOUNTED GRAB BAR MOUNTED CENTER BETWEEN 33" - 36" MAX. A.F.F.
- 8. TEMPERED GLASS MIRROR TYP. REF. TO L.O. FOR SPEC. MOUNT BOTTOM OF REFLECTING EDGE @ 38" A.F.F. - SEE BATHROOM INT. ELEV. VF.
- 9. FLUSH MOUNTED MEDICINE CABINET W/ BTM WOOD DOOR MOUNTED @ 40" A.F.F.
- 10. TYPICAL ROD AND SHELF MOUNTED AT 72" A.F.F. (48" A.F.F. AT A.D.A. UNITS) WITH WOOD OR WIRE SHELF.
- 11. SHAMPOO NICHE W/ BOTTOM OF LEDGE MOUNTED @ 2" ABOVE TUB, 4" ABOVE SHOWER PAN W/ ADDITIONAL WATERPROOFING @ WALL CORNER & PENETRATIONS.
- 12. PAINTED WOOD OR WIRE SHELVES @ 12" STARTING BOTTOM SHELF @ 36" A.F.F. AND TOP SHELF @ 7'-0", REF. TO UNIT ELEVATIONS.
- 13. PAINTED WOOD OR WIRE SHELVES WITH 12" SPRING STARTING BOTTOM SHELF @ 1'-0" A.F.F. AND TOP SHELF AT 7'-0" A.F.F.
- 14. GLASS SHOWER DOOR MIN 30" MAX 7'-0" W/ GLASS ENCLOSURE TYP. 7'-0"
- 15. TYP. SHELF MOUNTED @ 66" (46" ADA) A.F.F. DISHWASHER REF. TO UNIT ELEVATIONS.
- 16. TYPICAL ROD AND SHELF LOCATED AT 48" & 54" MAX. A.F.F. TYP. (36" A.F.F. @ A.D.A. UNITS)
- 17. SHOWER HEAD TO BE MOUNTED AT 74" A.F.F. (6'-2") AT TYPICAL ADA UNITS. ADA UNITS TO BE EQUIPPED WITH ADJUSTABLE WAND.

- 18. TOWEL RING/HOOK - MOUNTED TOP AT 48" A.F.F.
- 19. TYPICAL 18" GRAB BAR MOUNTED VERTICALLY BOTTOM OF GRAB BAR TO BE MOUNTED 41" A.F.F.
- 20. SHAMPOO NICHE W/ BOTTOM OF LEDGE MOUNTED @ 2" ABOVE TUB, 4" ABOVE SHOWER PAN W/ ADDITIONAL WATERPROOFING @ WALL CORNER & PENETRATIONS.
- 21. TWO GLASS SHELVES ABOVE KITCHEN SINK MOUNTED AT 57" & 68"
- 22. 18" TOWEL BAR - MOUNTED TOP AT 44" - 48" A.F.F.
- 23. VERTICAL BLOCKING ADJACENT TO SHOWER
- 24. 32" CONCEAL MOUNTED GRAB BAR MOUNTED 33" - 36" MAX. 6" FROM ADJ. WALLS. TYP. ADA UNITS
- 25. WALL MOUNTED EXHAUST FAN, REF. MEP & ELEVATIONS FOR LOCATIONS. COORDINATE W/ PLUMBING & WALL CONDITIONS.
- 26. SEE SHEET G1.04 FOR ADDITIONAL INFORMATION.

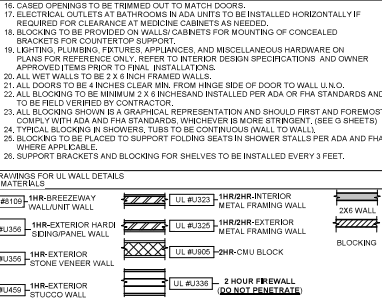
**UNIT PLAN GENERAL NOTE**

1. DETAILS ON THIS SHEET ARE TYPICAL UNLESS NOTED OTHERWISE.
2. REFER TO SHEET A2.06 FOR FLASHING AND WATERPROOFING NOTES, DIMENSIONS AND DETAILS.
3. SOME TOLERANCES BETWEEN MATERIALS ARE SHOWN ENLARGED FOR CLARITY.
4. SLOPE ALL FINISHED SURFACES OF PARTITIONS 1/4 INCH PER FOOT MAX TO DRAIN UNLESS OTHERWISE NOTED.
5. REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES AND DIMENSIONS.
6. ALL EXTERIOR INTERIOR BEARING, AND SEPARATION WALLS TO BE 1 HOUR RATED UNLESS OTHERWISE NOTED.
7. REFER TO ELEVATIONS/MEP PLANS FOR EXTERIOR LIGHT LOCATIONS.
8. REFER TO G2 SHEETS FOR ADA SINK HEIGHT GUIDELINES (SINK TYPE SPECIFIC).
9. ALL UNIT ENTRY DOORS TO HAVE A MINIMUM 18 INCH CLEARANCE ON THE PULL SIDE OF THE DOOR.
10. 18 INCH HOLD AT TOILET TO BE HELD FROM FINISH MATERIALS.
11. FIRE SPRINKLER PIPES CROSSING BREEZEWAY TO BE INSULATED AS REQUIRED PER CODE.
12. FIRE SPRINKLER ATTIC TO BE IDENTIFIED AS REQUIRED PER FIRE MATERIALS.
13. DRYER EXHAUST VENTS TO BE LOCATED MINIMUM 36 INCHES AWAY FROM PERMEABLE WINDOW OPENINGS.
14. FURRO-DOWNS AT BATHROOM FOR PANCAKE/CASSETTE TYPE HVAC UNITS TO BE OF NON-COMBUSTIBLE CONSTRUCTION/MATERIALS AS REQUIRED PER CODE OR BE UNIT TYPE THAT DOES NOT REQUIRE NON-COMBUSTIBLE CONSTRUCTION.
15. NOT ALL U/Ls LISTED WILL BE USED REFER TO DETAIL DRAWINGS FOR U/L WALL DETAILS. REFER TO ELEVATIONS FOR TYPE OF EXTERIOR FINISH MATERIALS.
16. CASSED OPENINGS TO BE TRIMMED OUT TO MATCH DOORS.
17. ELECTRICAL OUTLETS AT BATHROOMS IN ADA UNITS TO BE INSTALLED HORIZONTALLY IF REQUIRED FOR CLEARANCE AT MEDICINE CABINETS AS NEEDED.
18. BLOCKING TO BE PROVIDED ON WALLS/CABINETS FOR MOUNTING OF CONCEALED BRACKETS FOR COUNTERTOP SUPPORT.
19. LIGHTING, PLUMBING, FIXTURES, APPLIANCES, AND MISCELLANEOUS HARDWARE ON APPROVED ITEMS PRIOR TO FINAL INSTALLATIONS.
20. ALL WET WALLS TO BE 2 X 8 INCH FRAMED WALLS.
21. ALL DOORS TO BE 4 INCHES CLEAR MIN. FROM HINGE SIDE OF DOOR TO WALL U.N.O.
22. ALL BLOCKING TO BE MINIMUM 2 X 8 INCHES AND INSTALLED PER ADA OR FHA STANDARDS AND TO BE FIELD VERIFIED BY CONTRACTOR.
23. ALL BLOCKING SHOWN IS A GRAPHICAL REPRESENTATION AND SHOULD FIRST AND FOREMOST COMPLY WITH ADA AND FHA STANDARDS, WHICHEVER IS MORE STRINGENT. (SEE G2 SHEETS)
24. TYPICAL BLOCKING IN SHOWERS, TUBS TO BE CONTINUOUS (WALL TO WALL).
25. BLOCKING TO BE PLACED TO SUPPORT FOLDING SEATS IN SHOWER STALLS PER ADA AND FHA WHERE APPLICABLE.
26. SUPPORT BRACKETS AND BLOCKING FOR SHELVES TO BE INSTALLED EVERY 3 FEET.

**WALL TYPES LEGENDS**

U/L #U300	1HR-INTERIOR PARTITION WALL	U/L #U301	2HR-STAIR WALL	U/L #U302	1HR-BREEZEWAY WALL/UNIT WALL
U/L #U303	1HR-INTERIOR CORRIDOR WALL	U/L #U304	2HR-STAIR WALL BREAK	U/L #U305	1HR-EXTERIOR HARD 2ND/PANEL WALL
U/L #U306	1HR-INTERIOR TENANT WALL	U/L #U307	2HR-STAIR/UNIT WALL	U/L #U308	1HR-EXTERIOR STONE/VENEER WALL
U/L #U309	1HR-INTERIOR WALL	U/L #U310	1HR-EXTERIOR BRICK WALL	U/L #U311	1HR-EXTERIOR STUCCO WALL
U/L #U312	2HR-INTERIOR METAL FRAMING WALL	U/L #U313	2X6 WALL	U/L #U314	2HR-EXTERIOR METAL FRAMING WALL
U/L #U315	2HR-CMU BLOCK	U/L #U316	BLOCKING	U/L #U317	2 HOUR FIREWALL (DO NOT PENETRATE)

**SYMBOLS**



DW = DISHWASHER	C.TILE = CERAMIC TILE	LIN = LINEN
W = WASHER	LVP = LAMINATED VINYL PLANK	MIR = MACHINE ROOM
D = DRYER	LVT = LAMINATED VINYL TILE	JAN = JANITOR
WH = WATER HEATER	CTOP = COUNTERTOP	TR = TRASH ROOM
REF = REFRIGERATOR	PAN = PANTRY	POWR = POWDER ROOM
WD = WOOD FLOOR	FSC = FIRE SPRINKLER CLOSET	STOR = STORAGE

A2.17 UNIT C1 - PLAN